

1 PROPOSED SITE PLAN  
 1/8"=1'-0"

SURVEY NOTE:  
 INFORMATION FOR THE PREPARATION  
 OF THESE DRAWINGS WAS OBTAINED  
 FROM THE SURVEY PREPARED BY  
 BRODIE H GARDINER OLS  
 2432A KINGSTON RD, SCARBOROUGH, ON  
 DATED APRIL 28, 1964

ZONING INFORMATION -114 CLAREMONT AVE., TORONTO, ON			
ZONING DESIGNATION	PERMITTED	EXISTING	PROPOSED
FRONT YARD SETBACK		2.08m	NO CHANGE
REAR YARD SETBACK		2.14m	19.3m
SIDEYARD SETBACK (NORTH)		2.56m	2.56m
SIDEYARD SETBACK (SOUTH)		N/A	N/A
BUILDING HEIGHT		9.4m FEAK	NO CHANGE
BUILDING LENGTH (Max.)		15.4m	16.9m
REAR YARD LANDSCAPE AREA		6%	6%
FRONT YARD FREE LANDSCAPE AREA		42%	NO CHANGE
TOTAL LOT LANDSCAPE AREA		48%	33%
LOT AREA		199m <sup>2</sup> (1,714 sqft)	NO CHANGE
GROSS FLOOR AREA			
BASEMENT FLOOR GFA		36m <sup>2</sup>	36m <sup>2</sup>
GROUND FLOOR GFA		59m <sup>2</sup>	64m <sup>2</sup>
SECOND FLOOR GFA		43m <sup>2</sup>	62m <sup>2</sup>
TOTAL GFA		108m <sup>2</sup>	176m <sup>2</sup> 79% LOT AREA

2 ZONING STATISTICS

**GENERAL NOTES:**

- DRAWINGS SHALL NOT BE RECALLED.
- IF ARCHITECTURE IS NOT HAVING FOR BUILDING PERMIT APPROVAL SERVICES ONLY IT SHALL BE THE OWNER AND CONTRACTOR'S RESPONSIBILITY TO SELECT AND SPECIFY WINDOW DOORS, TRIM AND FINISHES THIS APPLICABLE AS PART OF THE MUNICIPALITY'S REG REVIEW OF THE DRAWINGS AND AS EACH SHALL BE CONDITION PRECISE TO CONSTRUCTION.
- CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE AS-BUILT CONDITIONS PRIOR TO CONSTRUCTION.
- INCLUDE ANY DISCREPANCIES/NOTICES/NOTES BE DISCOVERED THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT PRIOR TO PROCEEDING.
- ALL MODIFICATIONS AND NOTES ADDED BY THE BUILDING DEPARTMENT SHALL BE INCORPORATED INTO THE WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY BUILDING DEPARTMENT AND UTILITY REVIEW AND APPROVALS DURING THE COURSE OF CONSTRUCTION.
- THE PEAK OF ROOF HEIGHT HAS BEEN ESTIMATED AS ACCURATELY AS POSSIBLE DURING THE SITE MEASURING PHASE WITHOUT ACCESS TO THE ROOF SPACE IT IS RECOMMENDED TO ACCURATELY ASCERTAIN THE PEAK HEIGHT AS SOON AS POSSIBLE THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF THE ACTUAL PEAK HEIGHT.
- ALL STRUCTURAL END SUPPORT AND OPENING DETAILS SHALL BE SITE VERIFIED REPORT TO ARCHITECT AND ON BEHALF TO THE SITE SURVEY AND SHOULD THERE BE ANY DISCREPANCIES BETWEEN THE ARCHITECT'S PLAN AND SURVEY DRAWINGS THE CONTRACTOR SHALL IMMEDIATELY ALERT THE ARCHITECT.
- EXCEPT BY EXPLICIT ENCROACHMENT AGREEMENT, NO PART OF THE PROPOSED NEW CONSTRUCTION CONTAINED IN THESE DRAWINGS SHALL ENCRUCHMENT BEYOND THE SUBJECT PROPERTY LINE.
- FOR PROJECTS THAT HAVE A SHARED PARTY WALL THE CONTRACTOR SHALL HAVE BEST EFFORTS TO ACCOMMODATE THE NEIGHBOUR'S REQUIREMENTS FOR LOADS OR WORK STAGING AREAS DELIVERED AND REMOVE EHS.
- ALL REQUIREMENTS OF URBAN FORESTRY FOR TREE PROTECTION SHALL BE OBSERVED DURING THE EXECUTION OF THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EXISTING TREES AND VEGETATION IN PROXIMITY TO THE PROJECT TO THE SATISFACTION OF REGULATORY ENTITY HAVING JURISDICTION.
- CONTRACTOR SHALL GET ALL PERMITS NECESSARY FOR STREET OCCUPATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY FOUNDATION WALL TYPE AND SOIL CONDITIONS UPON COMMENCEMENT OF THE WORK, SHOULD THE CONTRACTOR DISCOVER UNUSUAL OR UNUSUAL CONDITIONS THEY SHALL REPORT IT TO THE ARCHITECT AND/OR ENGINEER.
- SHOULD THE CONTRACTOR OR OWNER DECIDE TO MAKE MATERIAL CHANGES TO THE APPROVED PERMIT DRAWINGS THEY MUST NOTIFY THE BUILDING OFFICIAL AND ARCHITECT AND THEY MAKE SUCH CHANGES AT THEIR OWN RISK.
- SHOULD THE CONTRACTOR HAVE ANY QUESTIONS REGARDING ZONING OR THE BUILDING CODE THEY SHALL MAKE ALL REASONABLE EFFORTS TO OBTAIN CLARIFICATION FROM THE BUILDING INSPECTOR ARCHITECT AND ENGINEER PRIOR TO CONTINUING WITH THE WORK.
- AT NO TIME DURING THE COURSE OF THE WORK SHALL THE CONTRACTOR UNDERTAKE ANY WORK TO AN EXISTING FIRE REPAIRATION OR FIRE EXISTING THAT BEYOND THE SCOPE OF WORK SHOWN ON THE PERMITS DOCUMENT.
- REVISED DRAWINGS THAT HAVE BEEN ISSUED FOR PERMIT ARE INTENDED ONLY FOR THE PURPOSES OF REVIEW BY THE MUNICIPALITY FOR USES AS THEY RELATE TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE THIS INCLUDES DETAILS FINISHES DETAILING OR CONSTRUCTION INFORMATION BE REQUIRED THIS USE BE OBTAINED AND SUPPLIED BY THE OWNER AND/OR CONTRACTOR.

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Project  
 114 CLAREMONT STREET  
 TORONTO, ON

Sheet Title  
 PROPOSED SITEPLAN &  
 ZONING STATISTICS

Date  
 2015-FEB-15

Scale  
 1/8" = 1'-0"

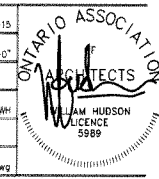
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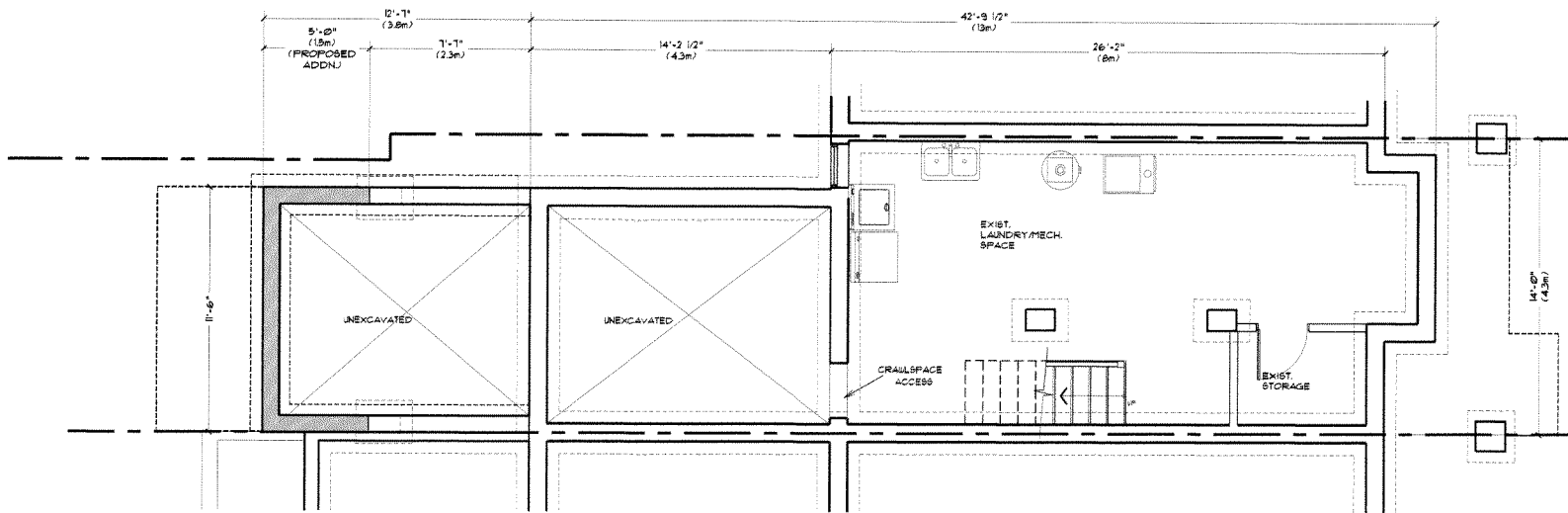
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Revision	
ISSUED FOR ZCC REVIEW	2015-AUG-31
ISSUED FOR C.O.F.A.	2015-SEPT-21



1 PROPOSED BASEMENT PLAN  
1/4" = 1'-0"

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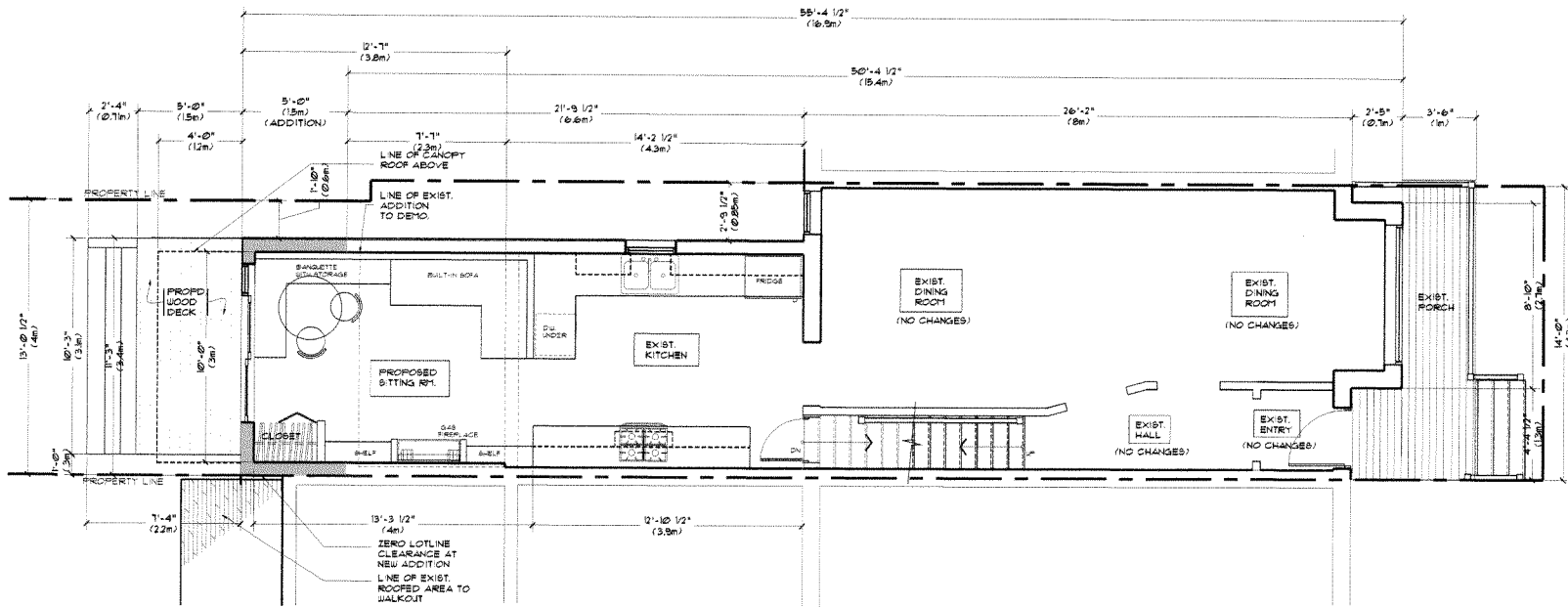
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PROPOSED BASEMENT  
FLOOR PLAN

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Date	2015-AUG-06	
Scale	1/4" = 1'-0"	
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1 PROPOSED GROUND FLOOR PLAN  
144 - 11-01

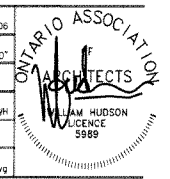
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PROPOSED GROUND FLOOR  
PLAN

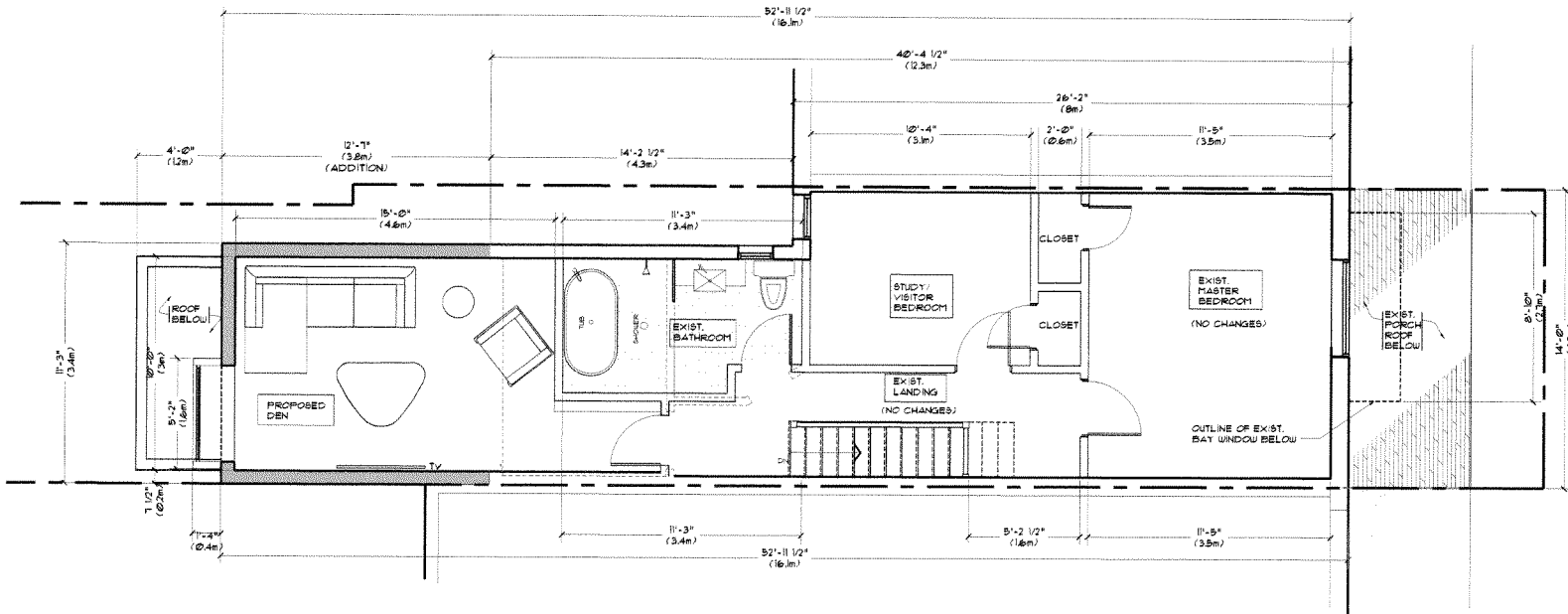
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1 PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"

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PROPOSED SECOND  
FLOOR PLAN

Date 2015-AUG-08

Scale 1/4" = 1'-0"

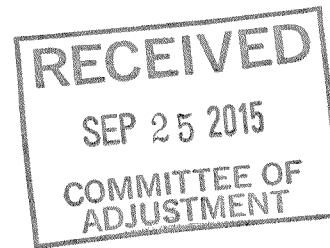
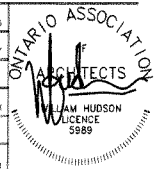
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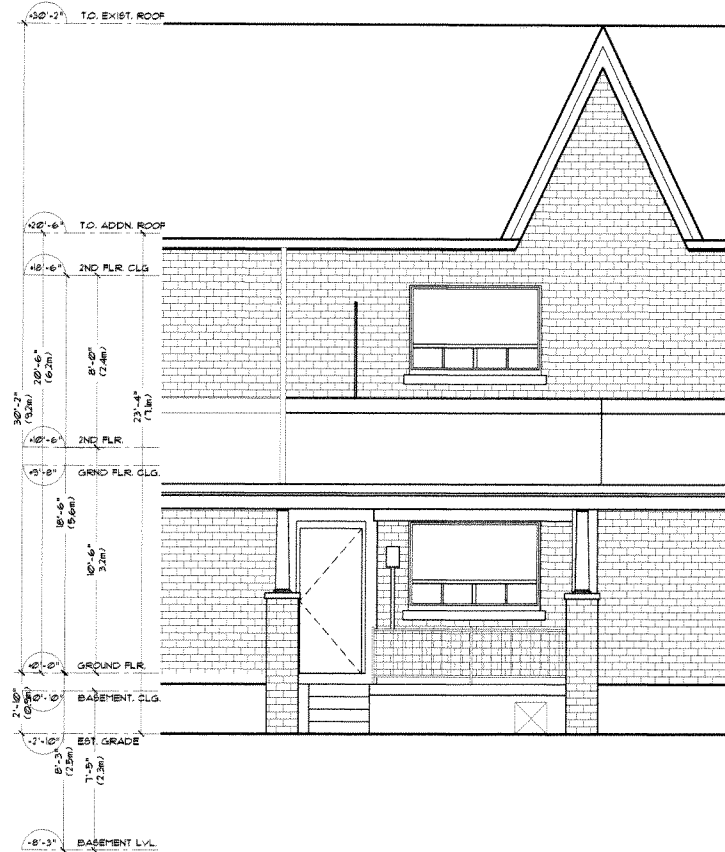
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Revision		
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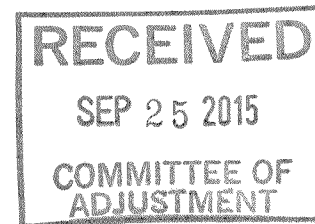
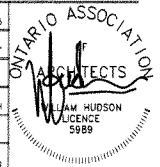


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Project  
 114 CLAREMONT STREET  
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Sheet Title  
 PROPOSED EAST  
 ELEVATION

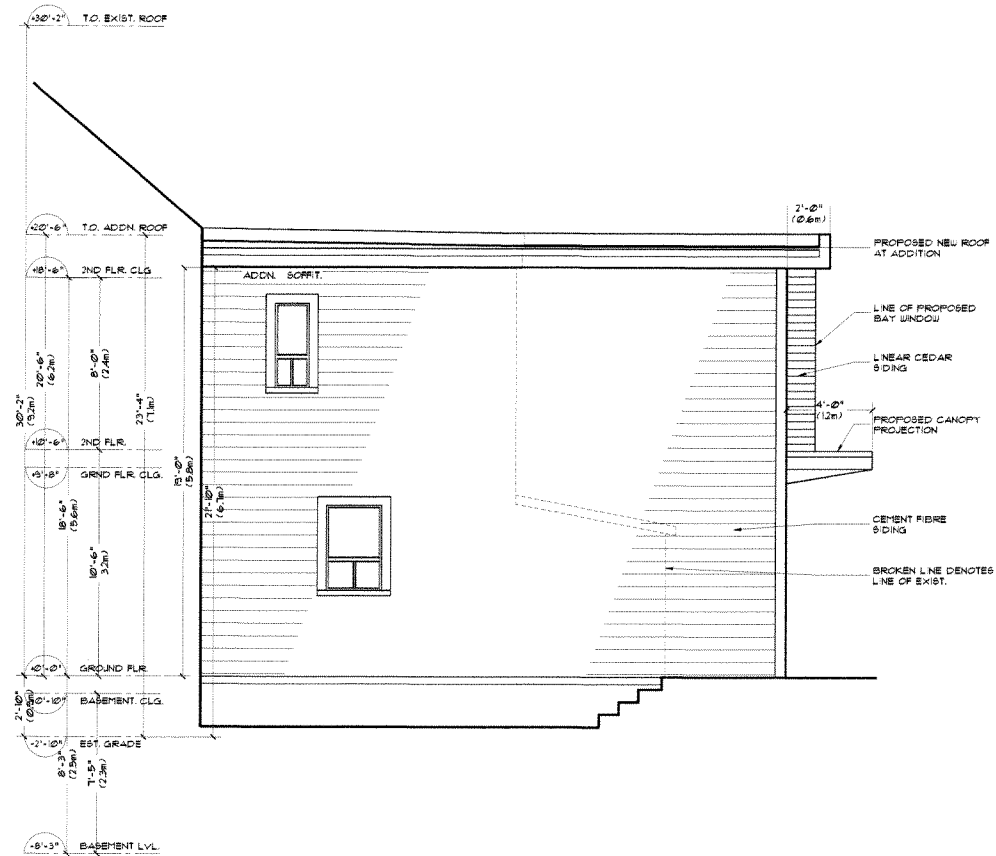
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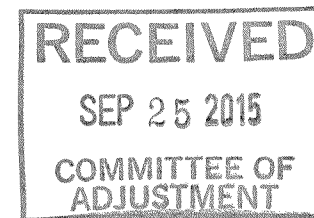
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1 PROPOSED PARTIAL NORTH ELEVATION  
1/4" = 1'-0"



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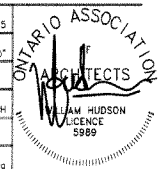
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PROPOSED PARTIAL  
NORTH ELEVATION

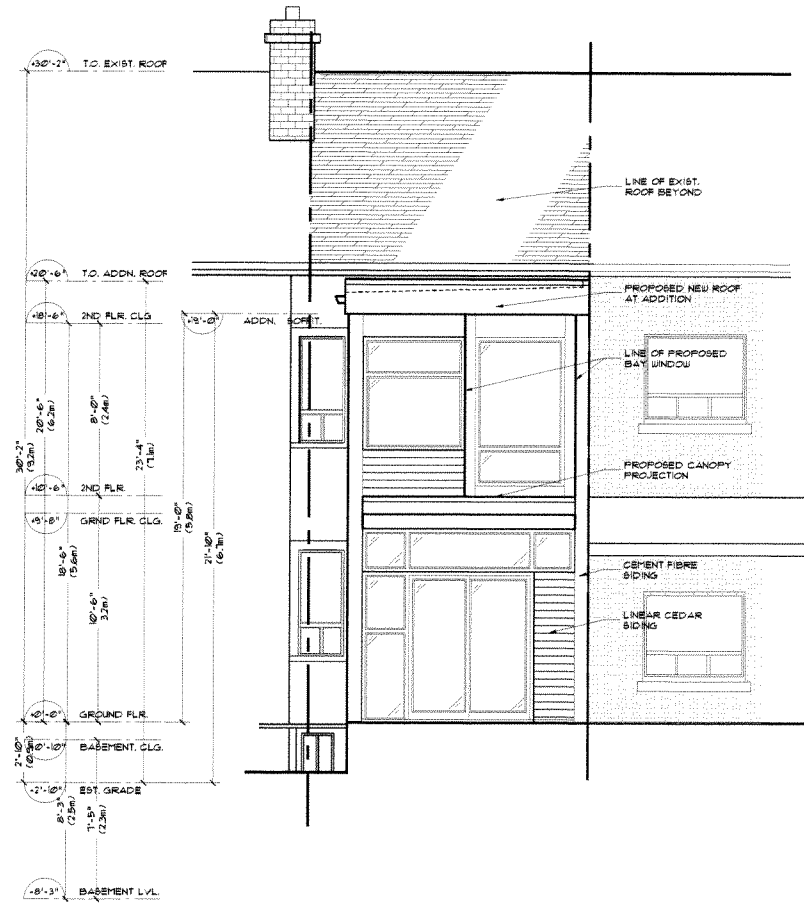
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1 PROPOSED WEST ELEVATION  
1/4" = 1'-0"

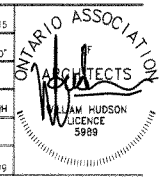
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PROPOSED WEST  
ELEVATION

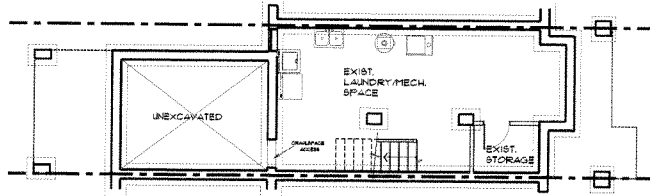
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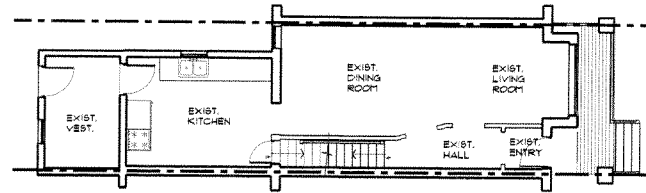
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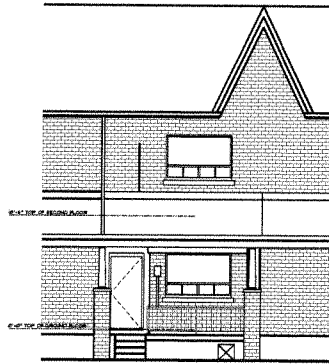
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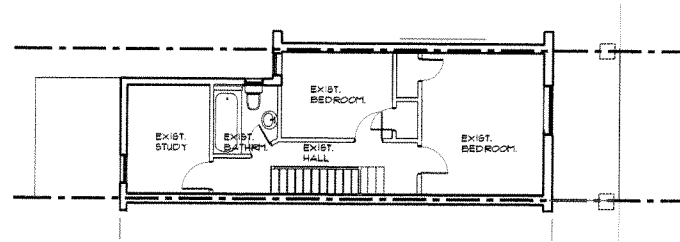
1 EXISTING BASEMENT PLAN  
1/8" = 1'-0"



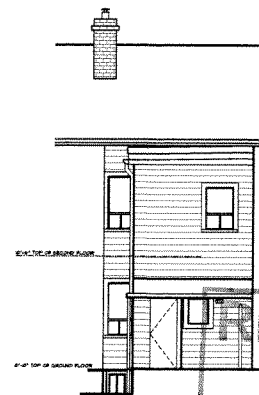
2 EXISTING GROUND FLOOR PLAN  
1/8" = 1'-0"



3 EXISTING EAST ELEVATION  
1/8" = 1'-0"



4 EXISTING GROUND FLOOR PLAN  
1/8" = 1'-0"



5 EXISTING EAST ELEVATION  
1/8" = 1'-0"

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AS BUILT PLANS &  
ELEVATIONS

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