



**SURVEYOR'S REAL PROPERTY REPORT  
SHOWING SPOT ELEVATIONS  
PART 1  
PLAN OF  
PART OF LOT 100  
REGISTERED PLAN 74  
CITY OF TORONTO**

SCALE 1 : 150

BECKER & STARCEVIC LTD.  
ONTARIO LAND SURVEYORS  
2015

**LEGEND**

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- IB DENOTES IRON BAR
- CP DENOTES CONCRETE PIN
- CC DENOTES CUT CROSS
- (M) DENOTES MEASURED
- (S) DENOTES SET
- (BA) DENOTES PLAN BA-1810
- (P1) DENOTES PLAN 66R-27150
- (P2) DENOTES PLAN OF SURVEY BY CITY SURVEYORS DEPARTMENT DATED MARCH 4, 1970
- (P3) DENOTES BUILDING LOCATION SURVEY BY ROBERT J. KINGSTON, O.L.S. DATED FEBRUARY 14, 1983
- RA DENOTES R. AVIS SURVEYING
- MF DENOTES METAL FENCE
- IF DENOTES IRON FENCE
- CLF DENOTES CHAIN LINK FENCE
- RW DENOTES RETAINING WALL
- CONC DENOTES CONCRETE
- D1 DENOTES DOOR SILL ELEVATION
- DE DENOTES EXISTING GRADE ELEVATION
- CB DENOTES CATCH BASIN
- DT DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER
- UP AL DENOTES UTILITY POLE
- UP AL S DENOTES UTILITY POLE WITH LIGHT STANDARD
- M DENOTES MANHOLE
- WK DENOTES WATER KEY
- OW DENOTES OVERHEAD UTILITY WIRES
- TC DENOTES TOP OF CURB
- C/L DENOTES CENTRELINE OF
- SF DENOTES SOUTH FACE OF
- D1 DENOTES INSTRUMENT CT2355
- D2 DENOTES INSTRUMENT WB35350
- TW DENOTES TOP OF WALL ELEVATION
- SCP DENOTES SPECIFIED CONTROL POINT
- DW DENOTES GUY WIRE

**ELEVATION**

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE RELATED TO CITY OF TORONTO BENCH MARK No. CT1510 HAVING AN ELEVATION OF 103.312 METRES.

ALL FOUND MONUMENTS ARE BY ROBERT J. KINGSTON, O.L.S., UNLESS OTHERWISE NOTED.

**SURVEYOR'S CERTIFICATE**

- I CERTIFY THAT
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
  2. THE SURVEY WAS COMPLETED ON THE 25th DAY OF MAY, 2015

DATE JUNE 25, 2015

*Dario Starcevic*  
DARIO STARCEVIC  
ONTARIO LAND SURVEYOR

|   |            |                          |           |
|---|------------|--------------------------|-----------|
| <b>BECKER &amp; STARCEVIC LTD.</b><br>ONTARIO LAND SURVEYORS          |            |                          |           |
| 2978 SLINGTON AVENUE, SUITE #205 TORONTO, ONTARIO, M9L 2K6            |            |                          |           |
| Phone: (416) 745-9442 Fax: (416) 745-1239 e-mail: beckstar@belinec.ca |            |                          |           |
| FIELD :   | DRAWN BY : | CHECKED BY :             | JOB No. : |
| DS  | D.S.       | DS                       | 15-048    |
| DRAWING NAME: 15048S1A.DWG  |            | PLOT DATE: JUNE 25, 2015 |           |

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ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
1922934

THIS PLAN IS NOT VALID  
UNLESS IT IS AN EMBOSSED  
ORIGINAL COPY  
ISSUED BY THE SURVEYOR  
IN ACCORDANCE WITH  
REGULATION 1026, SECTION 24(3)

**BEARING NOTE**

BEARINGS ARE NAD 83, DERIVED FROM SPECIFIED CONTROL POINTS 02218740578 AND CC(RA) (AS SHOWN ON PLAN 66R-27150), REFERRED TO THE CENTRAL MERIDIAN OF WMS ZONE 10 (79°30' WEST LONGITUDE), NAD 83 (CGRS 83N13-1997.0)

**DISTANCE NOTES**  
METRIC CONVERSION  
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY MULTIPLYING BY 6.3046.  
GRID SCALE CONVERSION  
DISTANCES ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A CORRECTED SCALE FACTOR OF 0.99990

**INTEGRATION DATA**

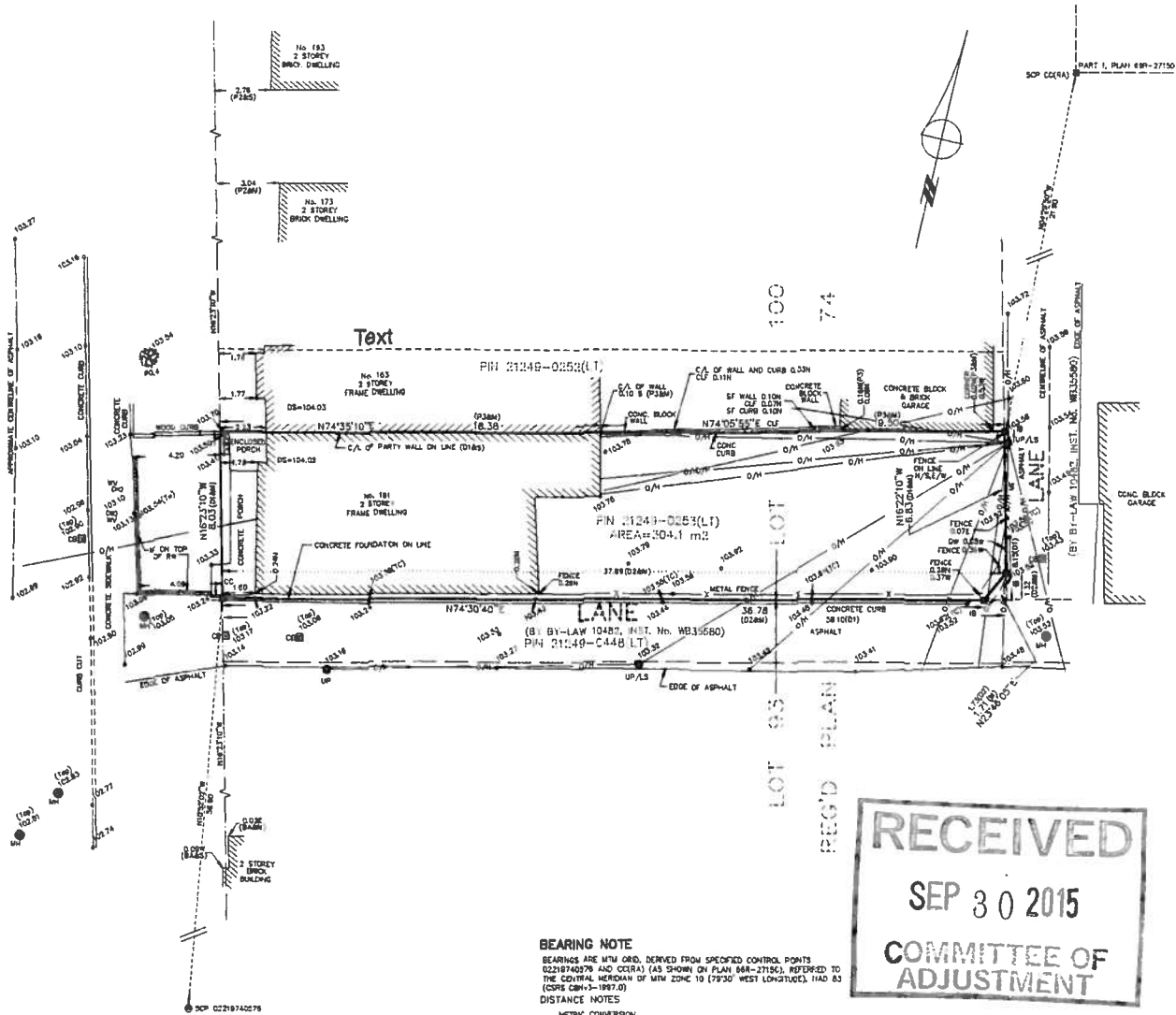
| SPECIFIED CONTROL POINTS (SCP's): NAD 83, NAD 83            |              |            |
|---|--------------|------------|
| (CGRS 83N13-1997.0)   |              |            |
| COORDINATES TO URBAN ACCURACY PER SEC 14 (2) OF REG. 219/70 |              |            |
| POINT ID  | NORTHING     | EASTING    |
| SCP 02218740578   | 4 834 847.88 | 312 189.82 |
| SCP CC(RA)  | 4 834 743.02 | 312 211.84 |

COORDINATES CANNOT, IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

**PART 2 - SURVEY REPORT**

1. THE RE-ESTABLISHMENT OF THE SUBJECT PROPERTY BOUNDARIES WAS BASED ON INFORMATION CONTAINED IN THE RELEVANT TITLE DOCUMENTS, REGISTERED PLANS AND ON THE EVIDENCE OF PRIOR SURVEYS FOUND DURING THE COURSE OF PREPARING THE SUBJECT SURVEY.
2. THE TYPE AND LOCATION OF THE EXISTING BUILDINGS AND OTHER IMPROVEMENTS, FENCES ETC., ON OR NEAR THE SUBJECT PROPERTY ARE AS SHOWN ON THE SURVEY PLAN.
3. COMPLIANCE WITH MUNICIPAL ZONING REQUIREMENTS IS NOT CERTIFIED BY THIS REPORT.
4. PROPERTY IS NOT SUBJECT TO ANY REGISTERED EASEMENTS.
5. SUBJECT DEED UNDESCRIBES PROPERTY AT THE SOUTH EAST CORNER OF THE PROPERTY AS SHOWN HEREON.

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**4596MVA (AS) PALMERSTON AVENUE**  
 (FORMERLY WATER STREET, ORIGINALLY ONTARIO STREET BY REGISTERED PLAN 74)  
 PIN 21249-C448(LT)

Text

LOT 100  
 LOT 99  
 LOT 98  
 REGISTERED PLAN 74

All drawings, specifications, schedules and documents prepared by this office are the property of the architect and shall remain the property of the architect. They shall not be used for any other purpose without the written consent of the architect. The architect shall not be responsible for any errors or omissions in the drawings or specifications, or for any consequences arising therefrom, whether or not such errors or omissions are caused by negligence or otherwise. The architect shall not be responsible for any delay or interruption of the work, whether or not such delay or interruption is caused by negligence or otherwise. The architect shall not be responsible for any cost or expense incurred by the owner in connection with the work, whether or not such cost or expense is caused by negligence or otherwise. The architect shall not be responsible for any damage to the work, whether or not such damage is caused by negligence or otherwise. The architect shall not be responsible for any loss of time or money incurred by the owner in connection with the work, whether or not such loss of time or money is caused by negligence or otherwise. The architect shall not be responsible for any other matter whatsoever.



EVAN BASKIN ARCHITECT  
 28 Givins Street  
 Toronto  
 M6J 2K2  
 416 594 7563

METRIC SCALE DRAWING

|     |                  |                 |
|-----|------------------|-----------------|
| no. | issued / revised | date            |
| 01  | 2015             | August 18, 2015 |

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**ARCHITECTURAL DRAWINGS**

|      |                     |
|------|---------------------|
| A100 | SITE PLAN           |
| A200 | BASEMENT FLOOR PLAN |
| A201 | GROUND FLOOR PLAN   |
| A203 | THIRD FLOOR PLAN    |
| A204 | ROOF PLAN           |
| A400 | WEST ELEVATION      |
| A401 | EAST ELEVATION      |
| A402 | NORTH ELEVATION     |
| A403 | SOUTH ELEVATION     |

188  
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|            |      |       |          |
|------------|------|-------|----------|
| 18001      | HTB  | RVZ   | EB       |
| PROJECT    | DATE | DRAWN | APPROVED |
| Cover Page |      |       |          |
|            |      |       | A000     |

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**LOT AND PLAN:**  
PART OF LOT 100  
REGISTERED PLAN 74  
City of Toronto

**SITE AREA:**  
304.1 sq.m  
Becor and Starovio Ltd.  
2976 Islington Ave  
Toronto, Ont. M8L 2K3

**ZONING:**  
R d1.0 h12.0  
MAX. PERMITTED COVERAGE IS 100% OF SITE AREA  
(1.00 X 304.1 sq.m = 304.1 sq. m)

| BUILDING AREA                        | PROPOSED          |
|--------------------------------------|-------------------|
| BASEMENT (NOT INCLUDED IN TOTAL GFA) | 140.2 sq m        |
| GROUND FLOOR                         | 136.3 sq m        |
| SECOND FLOOR                         | 189.0 sq m        |
| THIRD FLOOR                          | 88.2 sq m         |
| <b>TOTAL GFA</b>                     | <b>377.4 sq m</b> |
| <b>COVERAGE (DENSITY)</b>            | <b>1.24</b>       |

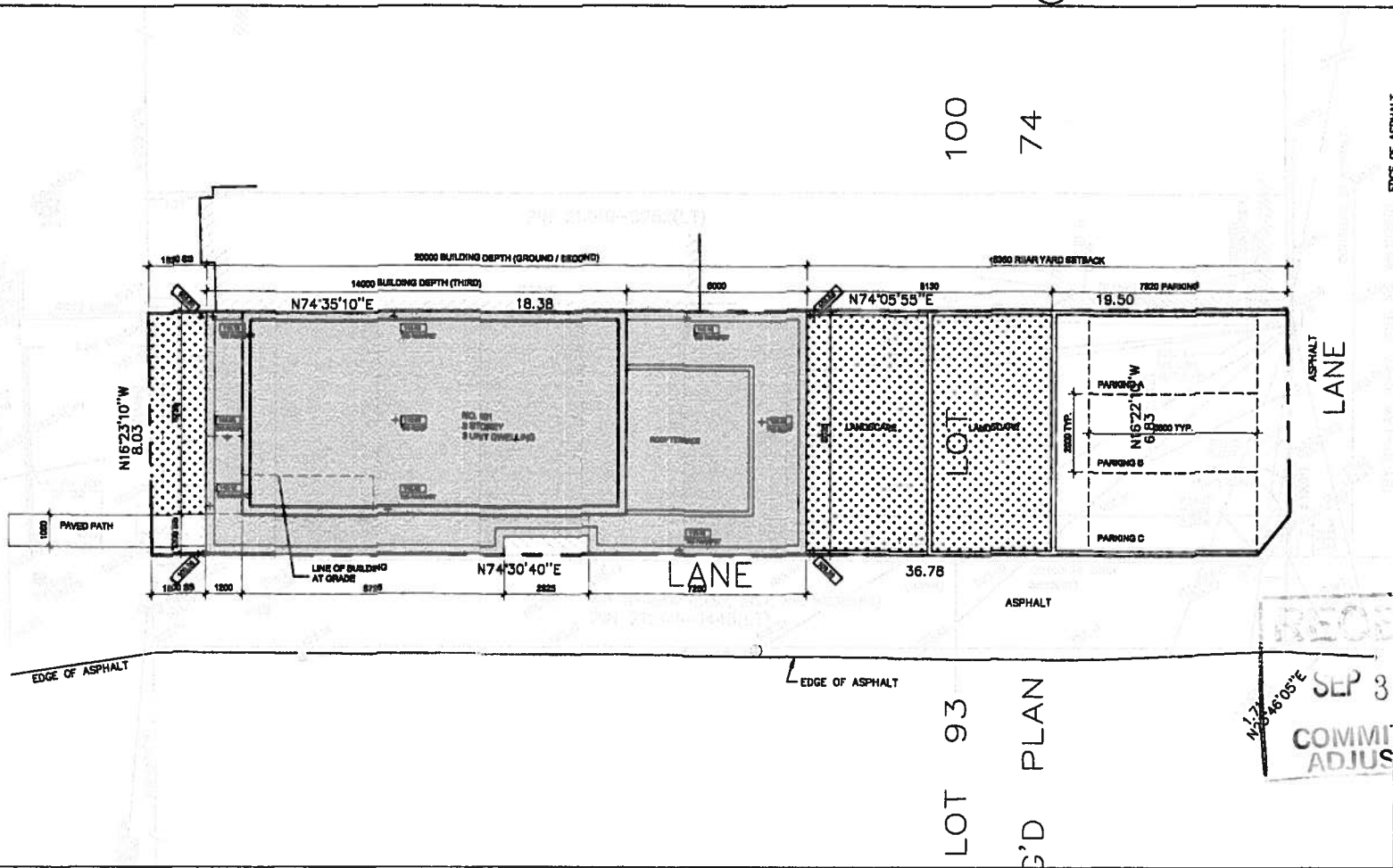
| OSB             | PERMITTED AS PER ZONING BY-LAW | PROPOSED       |
|-----------------|--------------------------------|----------------|
| FRONT YARD      | 8.0 m                          | 1.8 m          |
| REAR YARD       | 7.8 m                          | 15.85 m        |
| WEST SIDE YARD  | 0.48 m                         | 0.0 m          |
| EAST SIDE YARD  | 0.48 m                         | 0.0 m          |
| BUILDING DEPTH  | 17 m                           | 20.0 m / 14.0m |
| BUILDING HEIGHT | 18.0 m                         | 10.0 m         |
| MAINWALL HEIGHT | 7.8 m                          | 7.5 m          |

| LANDSCAPE    | SOFTSCAPE            | HARDSCAPE            | TOTAL          |
|--------------|----------------------|----------------------|----------------|
| FRONT YARD   | 12.5 sq (81%)        | 2.9 sq (9%)          | 15.4 sq        |
| REAR YARD    | 49.0 sq (75%)        | 18.3 sq (28%)        | 65.3 sq        |
| <b>TOTAL</b> | <b>61.5 sq (78%)</b> | <b>19.2 sq (24%)</b> | <b>80.7 sq</b> |

161 PALMERSTON

3 Context  
A100 SCALE: NTS

2 Site Statistics  
A100 SCALE: NTS



All drawings, specifications, reports, contracts and other documents prepared by the Architect are the property of the Architect and shall remain the property of the Architect. No part of these documents shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of the Architect.

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01 / 02/15 August 07, 2015

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Site Plan

A100

1 Site Plan  
A100 SCALE: 1:100

If building modifications, additions and/or changes are required, the architect shall be notified in writing. The architect shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The architect shall be responsible for the coordination of all trades and subcontractors. The architect shall be responsible for the preparation of all construction documents. The architect shall be responsible for the supervision of the construction. The architect shall be responsible for the completion of the project.

PROFESSIONAL CERTIFICATION

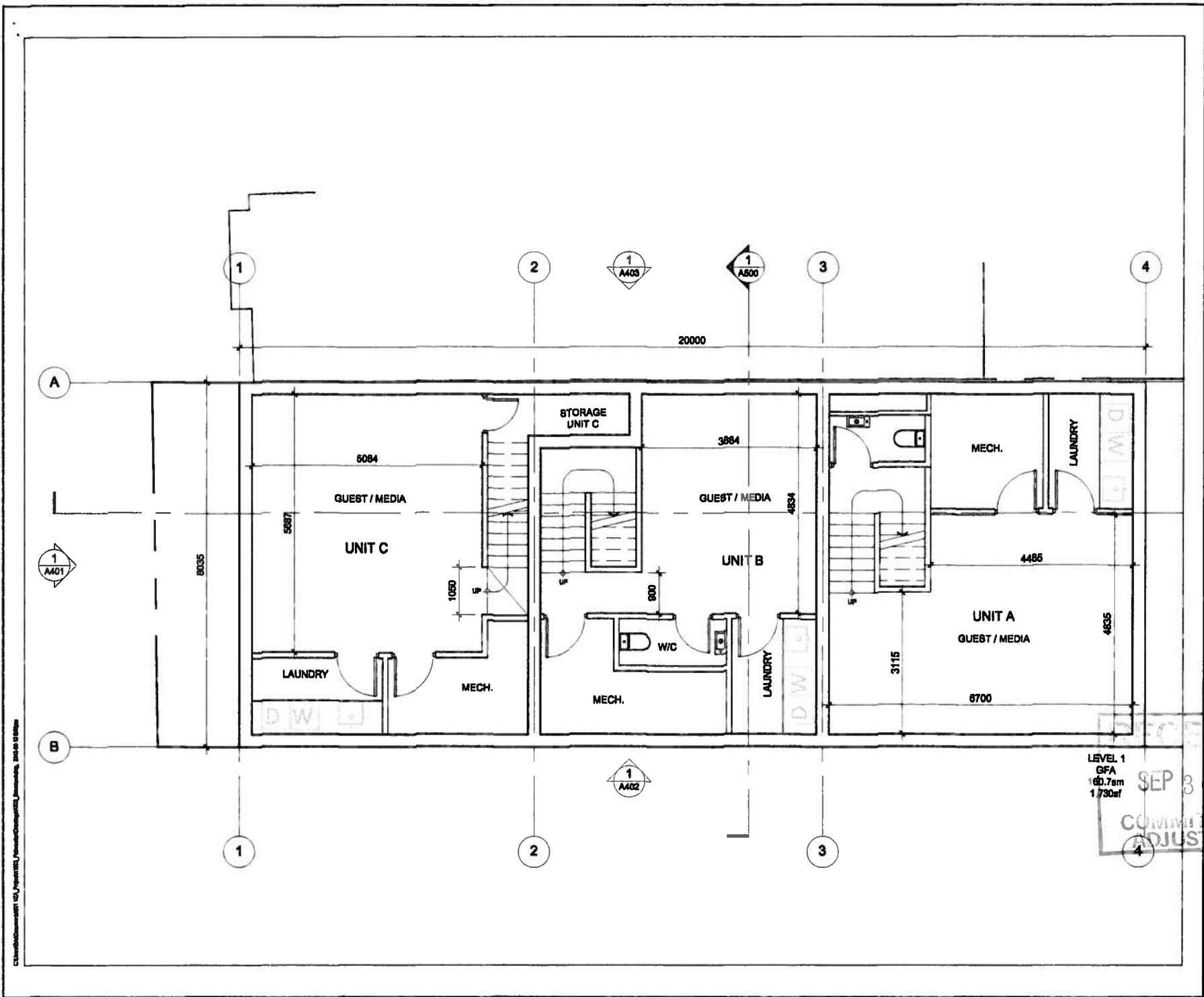
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|                     |       |      |         |
|---------------------|-------|------|---------|
| 15003               | 180   | 5/2  | 28      |
| PROJECT             | SCALE | PAGE | OF 01/1 |
| Basement Floor Plan |       |      |         |
|                     |       |      | A200    |



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All design, construction and dimensions are subject to change without notice. The contractor is responsible for verifying all dimensions and materials. The architect is not responsible for any errors or omissions. The architect is not responsible for any construction or materials. The architect is not responsible for any construction or materials. The architect is not responsible for any construction or materials.

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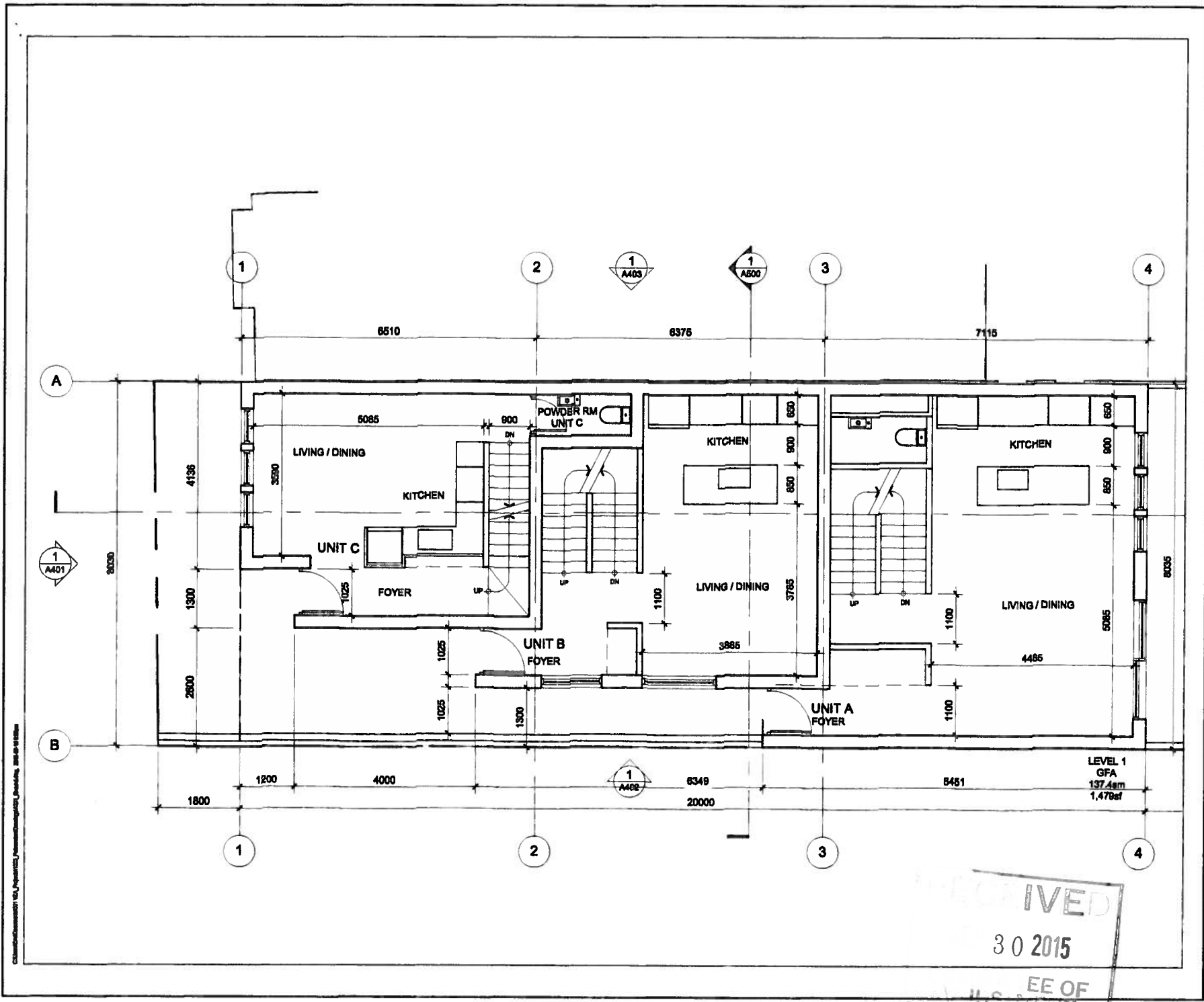
NOTES:  
8000 - INTERCONNECTED SMOKE / CO2 DETECTORS

1 NR PWR

15003 130 RYZ EB  
PROJECT 2013 ISSUE 02/2013

Ground Floor Plan

A201



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All building measurements, unless otherwise indicated, are based on the finished floor level. Measurements are taken from the centerline of walls unless otherwise indicated. Measurements are taken from the centerline of walls unless otherwise indicated. Measurements are taken from the centerline of walls unless otherwise indicated.

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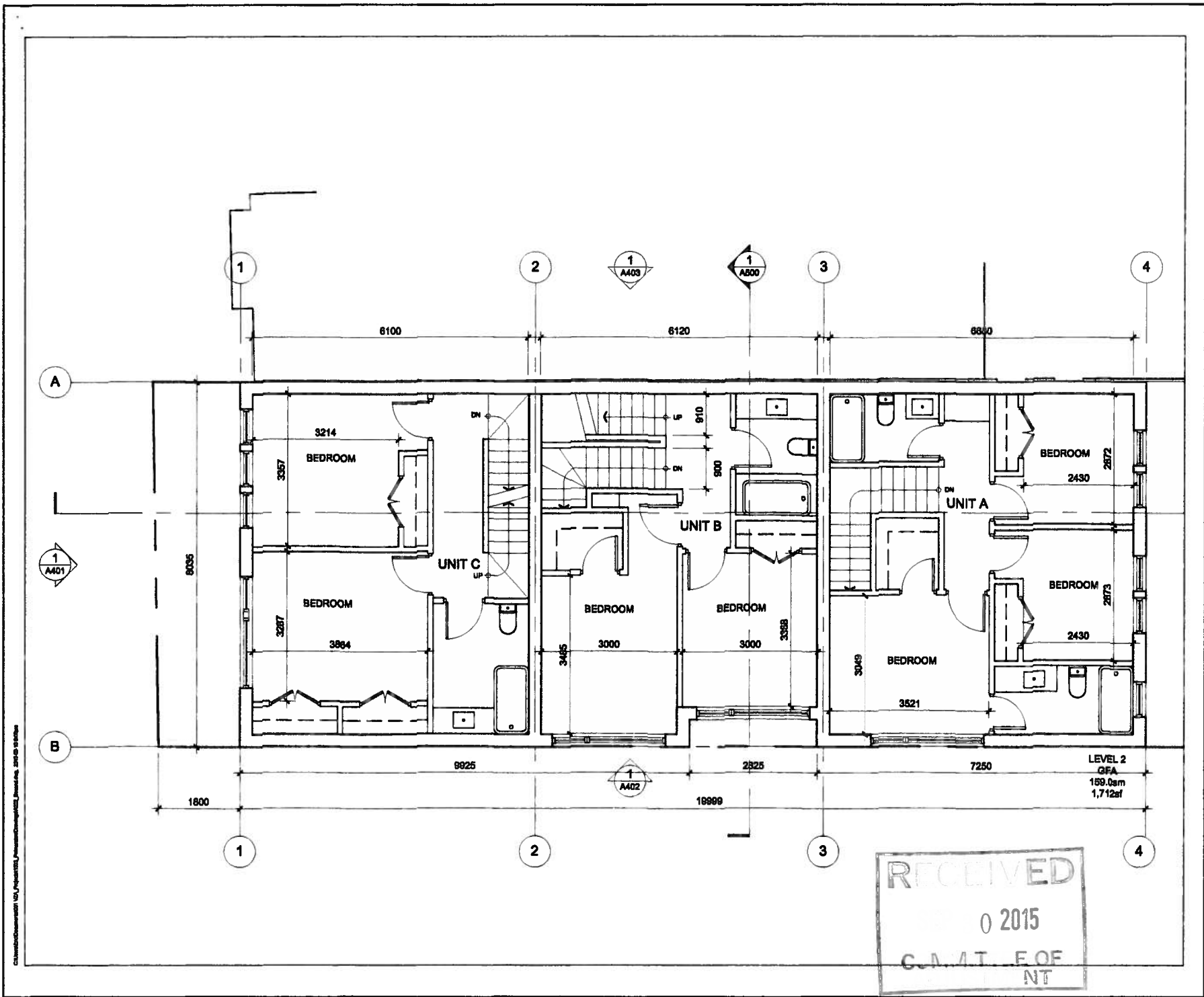
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NOTES:  
 8000 - INTERCONNECTED SMOKE / CO2 DETECTORS

SCALE 1:100 F.P.S.

15003 100 01/2 03  
 PROJECT DATE SCALE SHEET EXTENSION  
 Second Floor Plan

A202



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All drawings, specifications, and other documents shall be read in conjunction with the contract documents. The architect shall be responsible for the coordination of all drawings and specifications. The contractor shall be responsible for the construction of all work shown on the drawings. The architect shall not be responsible for the construction of any work shown on the drawings.

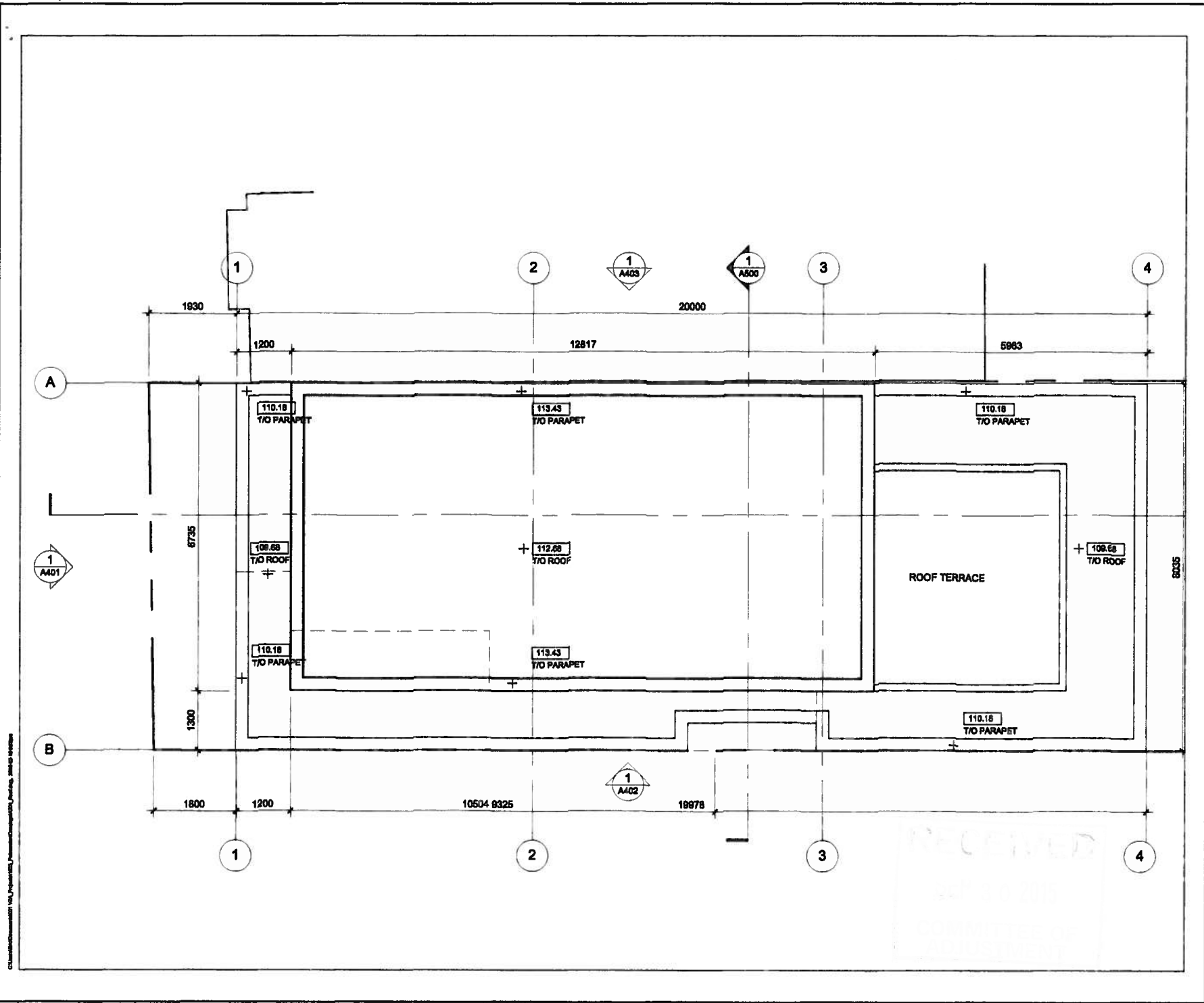
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METRIC SCALE DRAWING  
 no. 10001 / revised date:  
 01 2010 August 07, 2010

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|           |      |       |          |
|-----------|------|-------|----------|
| 15003     | 100  | BYZ   | ES       |
| PROJECT   | DATE | SCALE | APPROVED |
| Roof Plan |      |       |          |
|           |      |       | A204     |



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All building construction shall conform with the Ontario Building Code and all applicable municipal by-laws. The drawings are prepared for information only. The contractor shall be responsible for obtaining all necessary permits and for ensuring compliance with all applicable laws and regulations. The architect is not responsible for any errors or omissions on the drawings or for any construction defects. The architect is not responsible for any construction defects or for any construction delays. The architect is not responsible for any construction costs or for any construction risks.

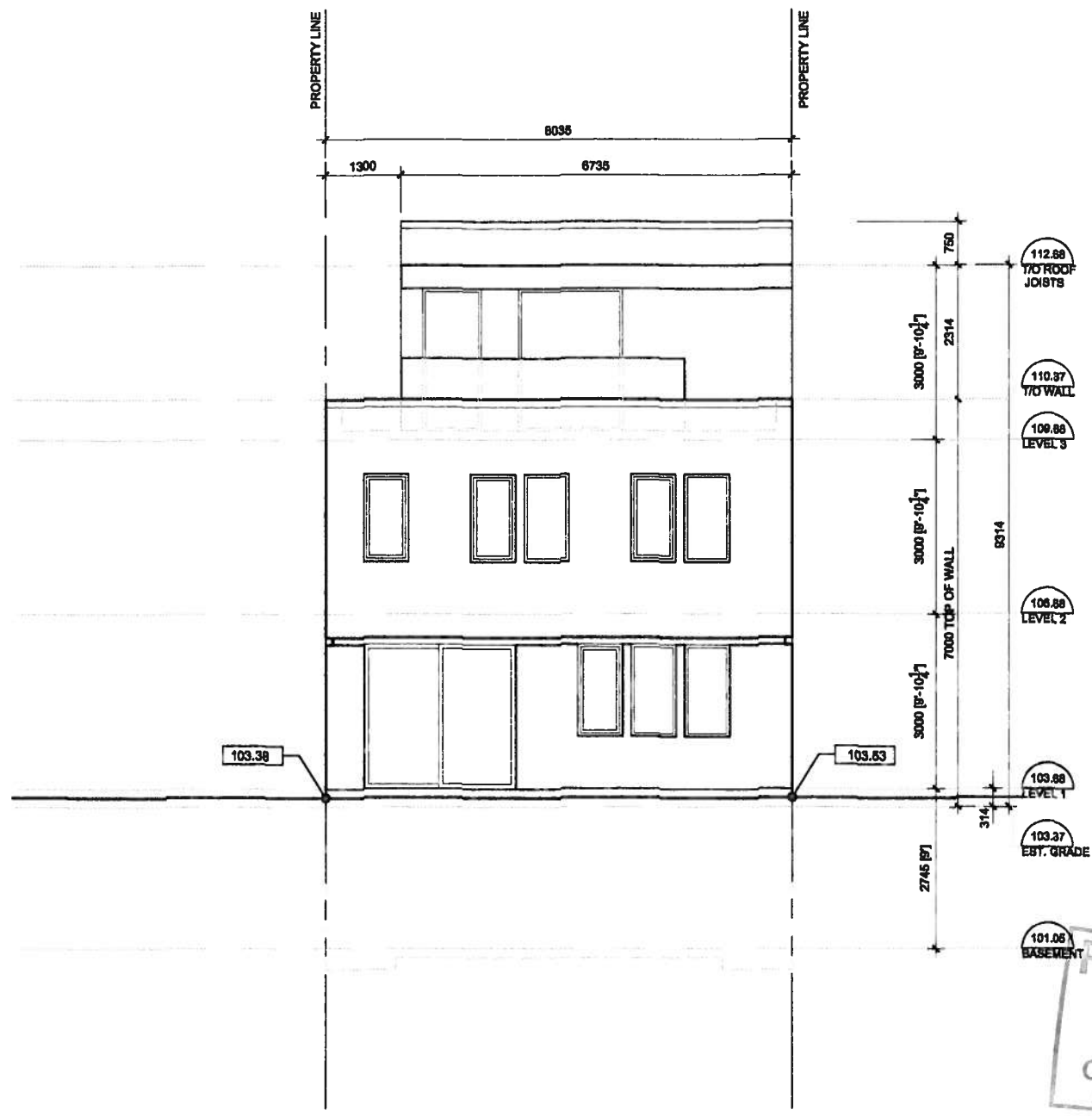
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METRIC SCALE DRAWING  
No. 10000 / 10000 Date: August 27, 2015  
M. J. Sakin

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|                |       |       |      |
|----------------|-------|-------|------|
| 15000          | 100   | BY2   | ES   |
| PROJECT        | SCALE | DRAWN | DATE |
| East Elevation |       |       |      |
|                |       |       | A400 |



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All drawings, specifications, contract documents and details are the property of the Architect. They shall remain the property of the Architect and shall not be used for any other project without the written consent of the Architect. The Architect shall not be responsible for any errors or omissions in the drawings or specifications or for any consequences arising therefrom. The Contractor shall be responsible for obtaining all necessary permits and for the accuracy of the information provided to the Architect. The Architect shall not be responsible for any delays or interruptions in the work caused by the Contractor or any other party. The Architect shall not be responsible for any damage to the property or any other loss caused by the Contractor or any other party.

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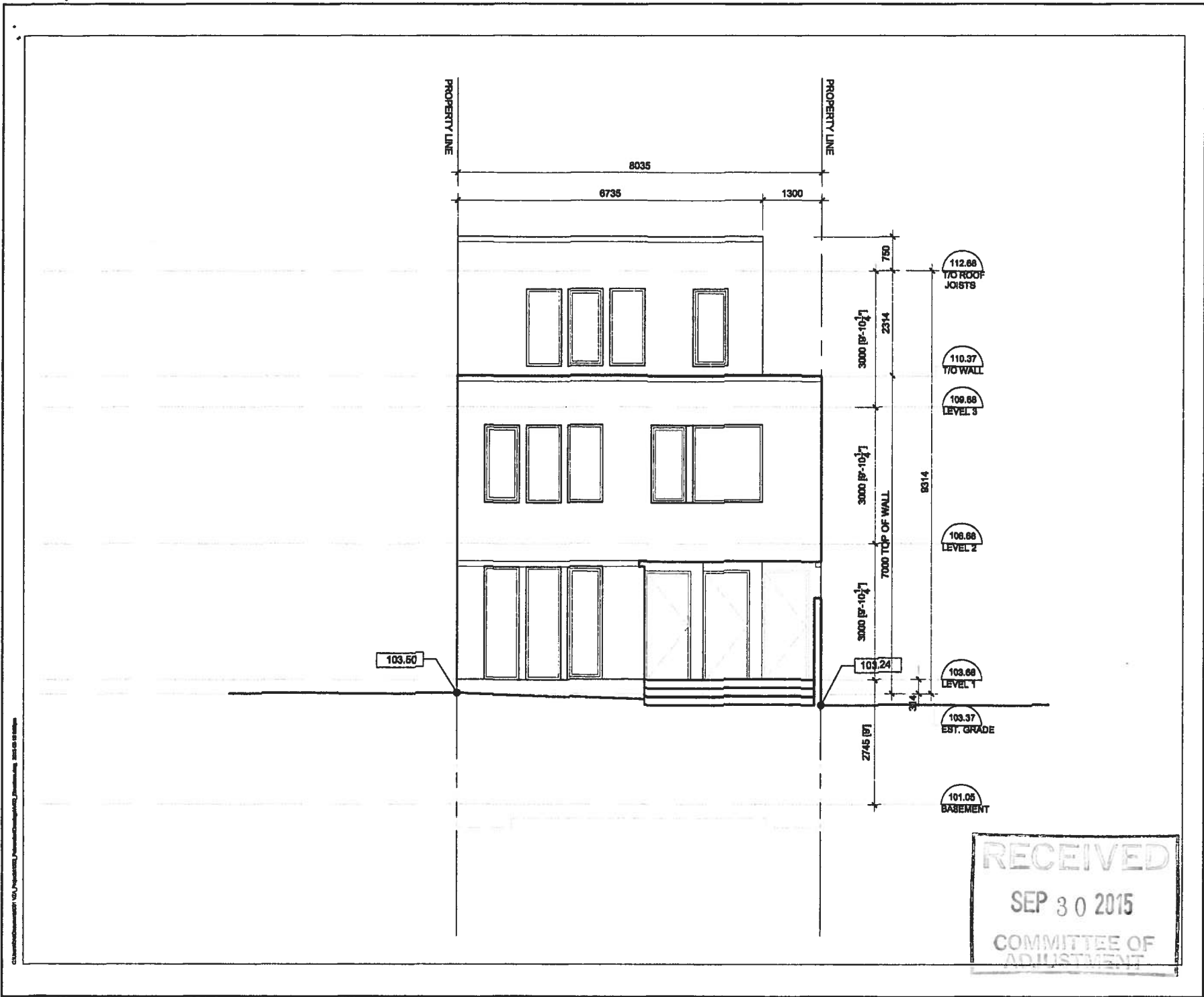
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West Elevation  
 A401



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All design, construction, and installation shall be in accordance with the Ontario Building Code, the National Building Code of Canada, and all applicable laws, regulations, codes, standards, and specifications. The contractor shall be responsible for obtaining all necessary permits and approvals. The architect shall not be responsible for the construction of the building or for the safety of the building or its occupants.

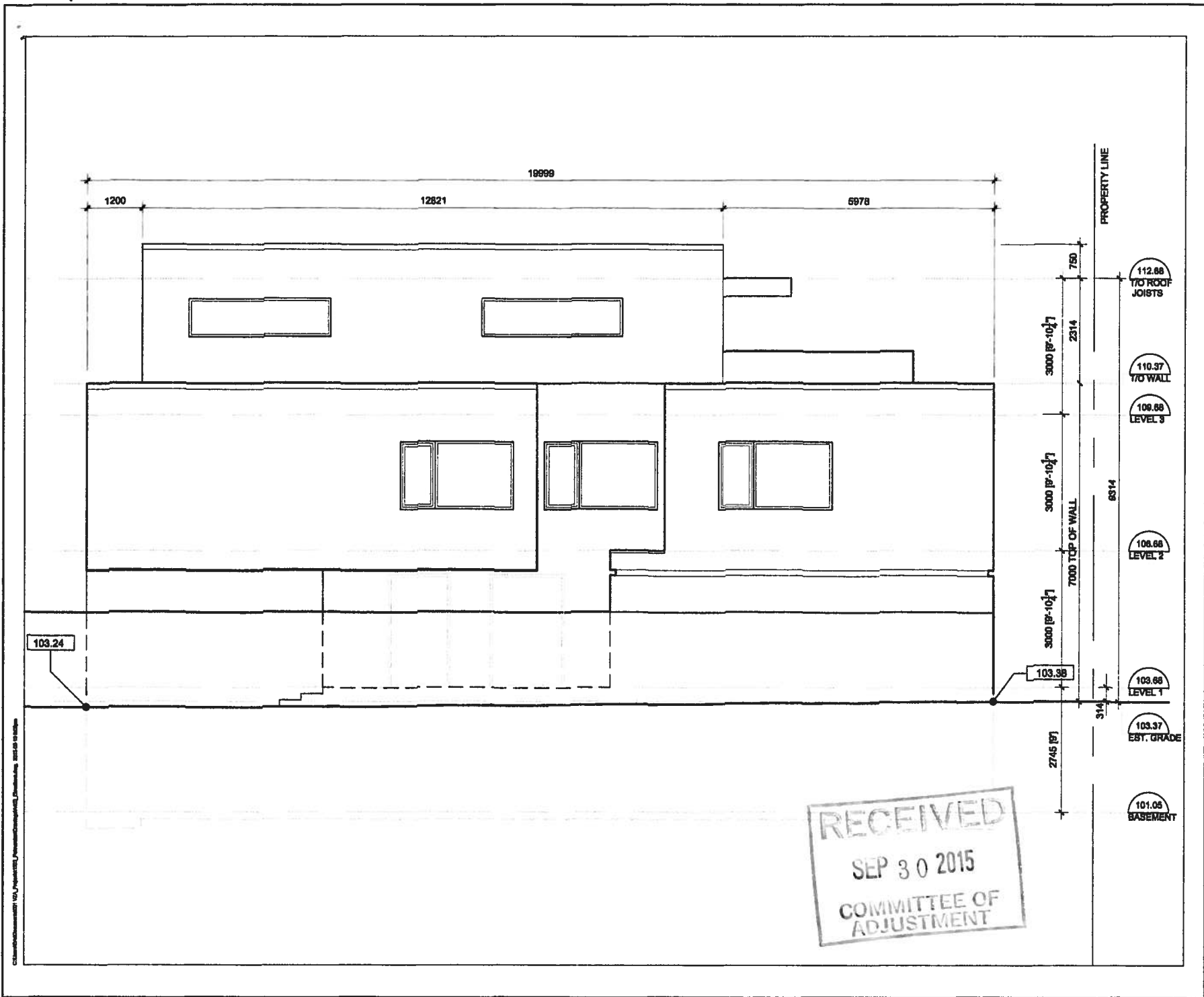
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No. 10001 / revised date:  
01 July 2015 August 07, 2015

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|                 |       |       |           |
|-----------------|-------|-------|-----------|
| 15003           | 100   | 8/2   | 23        |
| PROJECT         | SCALE | SHEET | OF SHEETS |
| South Elevation |       |       |           |
|                 |       |       | A402      |



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All building construction shall conform with the Ontario Building Code and all applicable municipal by-laws. The Engineer shall be responsible for the design and construction of the building and shall ensure that the building is constructed in accordance with the approved plans. The Engineer shall not be responsible for the design and construction of any other building or structure on the site. The Engineer shall not be responsible for the design and construction of any other building or structure on the site.

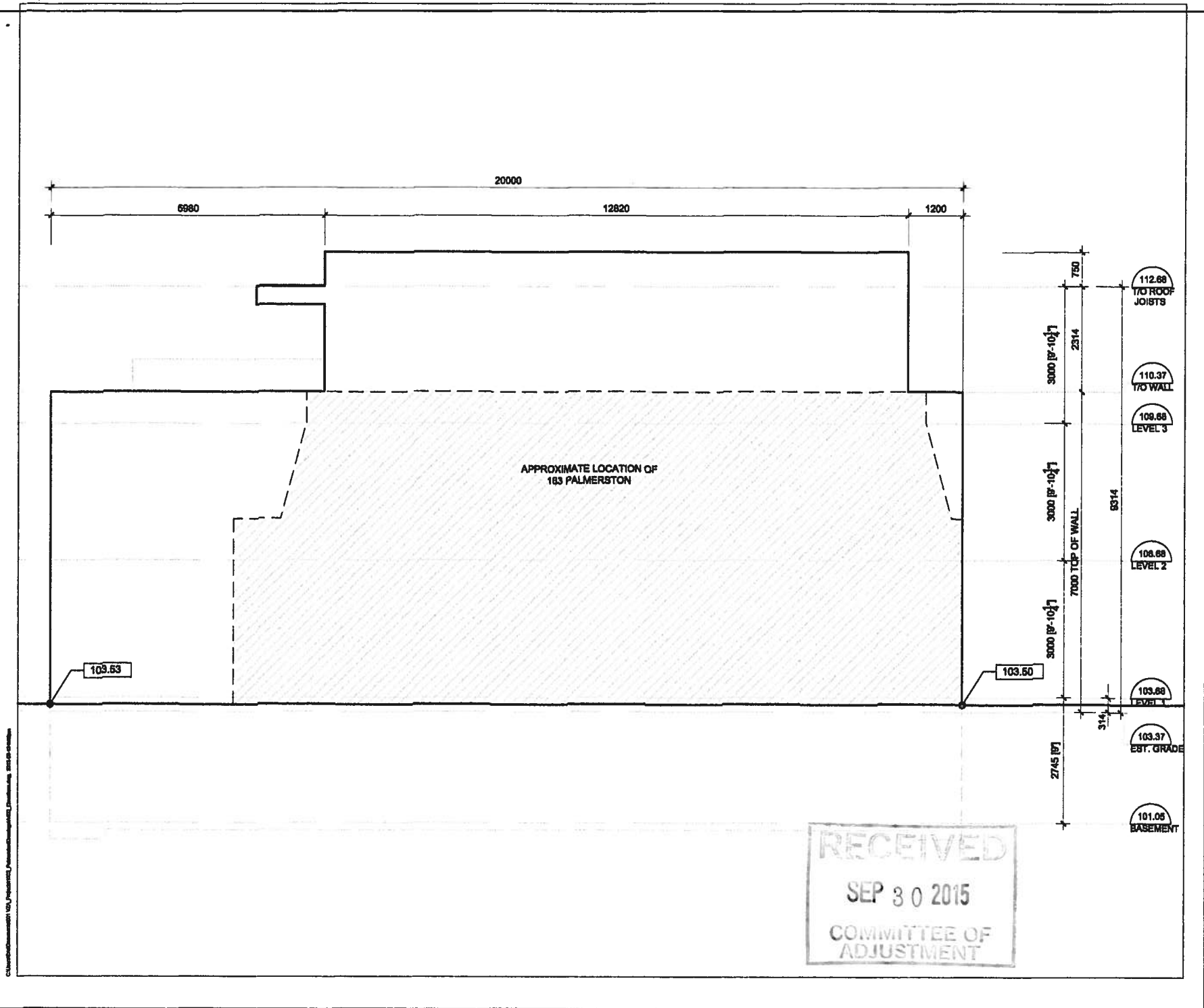
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METRIC SCALE DRAWING  
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 NORTH ELEVATION  
 A403



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