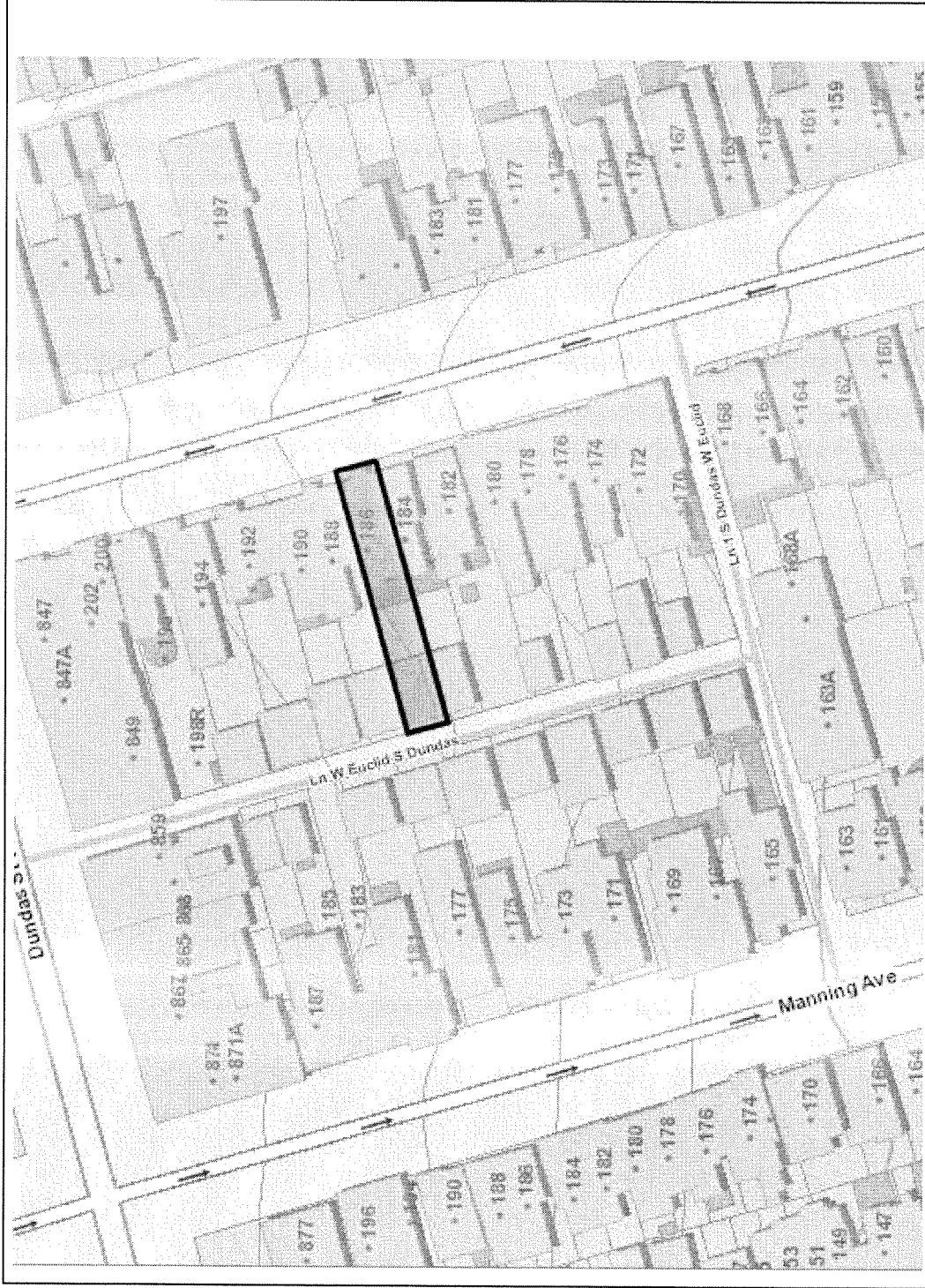


186 Euclid Avenue

A0109/16TEY



Author

Theresa Tumidajski
Application Technician

**Environment and Land Tribunals
Ontario**

Ontario Municipal Board

655 Bay Street, Suite 1500
Toronto ON M5G 1E5

Telephone: (416) 212-6349
Toll Free: 1-866-448-2248
Fax: (416) 326-5370
Website: www.elto.gov.on.ca

**Tribunaux de l'environnement et de
l'aménagement du territoire Ontario**

Commission des affaires municipales
de l'Ontario

655 rue Bay, suite 1500
Toronto ON M5G 1E5

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Sans Frais: 1-866-448-2248
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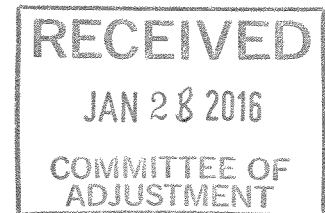


January 20, 2016

VIA Email: abarbini@rogers.com

Armando Barbini
30 Brixham Terrace
Toronto, ON
M3M 2S1

Subject: Case Number: PL151060
File Number: PL151060
Municipality: City of Toronto
Municipal Number: A0394/15TEY
Property Location: 186 Euclid Avenue
Hearing Start Date: January 29, 2016



The Ontario Municipal Board has received your written confirmation that the above-noted matter has been withdrawn.

As a result, the Board has cancelled the hearing event that was scheduled to commence on **January 29, 2016**.

Yours truly,

A handwritten signature in black ink, appearing to read "M. Fernandes".

For Maria Fernandes
Scheduling Coordinator

c.c.

The Clerk, City of Toronto, via email: Clerk@toronto.ca
Humberto and Gabriella Arruda, via Xpresspost
Lorraine Unett, via email: lunett@toronto.ca
Anita MacLeod, via email: amacleo@toronto.ca
Elise Hug, via email: ehug@toronto.ca
Brian Haley, via email: bhaley@toronto.ca
Tony Henriques, via Xpresspost
Dennis Da Cunha, via Xpresspost



City Planning Division

Committee of Adjustment
Toronto and East York District

100 Queen Street West, 1st Floor
Toronto, Ontario M5H 2N2
Tel: 416-392-7565
Fax: 416-392-0580

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0394/15TEY	Zoning	R(d1.0)(x806) & R4 Z1.0(ZZC)
Owner(s):	GABRIELA ARRUDA HUMBERTO ARRUDA	Ward:	Trinity-Spadina (19)
Agent:	TONY HENRIQUES		
Property Address:	186 EUCLID AVE	Community:	Toronto
Legal Description:	PLAN D70 PT LOTS 7 & 8		

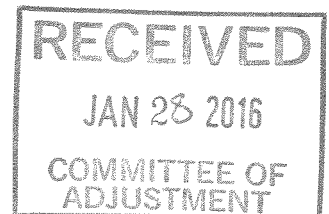
Notice was given and a Public Hearing was held on **Thursday, September 24, 2015**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey townhouse/row house.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.50.10 (1)(D), By-law 569-2013**
A minimum of 75% (6.69 m²) of the front yard landscaping shall be maintained as soft landscaping.
A total of 0.08% (0.741 m²) of the front yard landscaping will be maintained as soft landscaping.
- Chapter 10.5.40.60 (3)(A), By-law 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the exterior stairs are no wider than 2.0 m and no closer to a lot line than 0.6 m.
The stairs will have a width of 3.88 m and will be located 0 m from the east front lot line.
- Chapter 10.5.40.60 (7)(B), By-law 569-2013**
The permitted maximum projection of the roof eaves into the minimum building setback is 0.9 m if the eaves are no closer to a lot line than 0.3 m.
The eaves will be located 0 m from the north and south side lot line.
- Chapter 10.10.40.80 (1)(A), By-law 569-2013**
The required minimum distance between the main walls of a townhouse is 2.0 m where there are no openings to dwellings in those main walls.
The distance between the main walls is 0.10 m.
- Chapter 10.10.40.30 (1)(B), By-law 569-2013**
The permitted maximum building depth is 14.0 m.
The new townhouse will have a depth of 18.48 m.



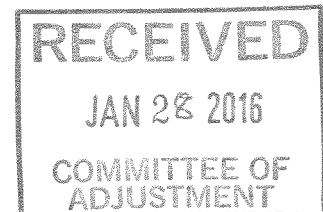
6. **Chapter 10.5.40.70 (B) & 10.10.40.70 (1), By-law 569-2013**
The required minimum front yard setback is 1.96 m.
The new townhouse will be located 1.58 m from the east front lot line.
1. **Section 6(3) Part II 2.(ii), By-law 438-86**
The minimum required front yard setback is 1.96 m.
The new row house will be located 1.58 m from the east front lot line.
2. **Section 6(3) Part I 1., By-law 438-86**
The maximum permitted gross floor area is 1.0 times the area of the lot (227.05 m²).
The new row house will have a gross floor area equal to 1.244 times the area of the lot (282.45 m²).
3. **Section 6(3) Part II 3.(I), By-law 438-86**
The minimum required side yard setback from the side wall of an adjacent building that does not contain any openings is 0.90 m.
The new row house will be located 0.10 m from the side wall of the adjacent building at 184 Euclid Ave and 188 Euclid Avenue.
4. **Section 6(3) Part II 3.C(i), By-law 438-86**
The minimum required side yard setback is 0.45 m where the side wall contains no openings.
The new row house will be located 0 m from the north and south side lot line.
5. **Section 6(3) Part II 5(I), By-law 438-86**
The maximum permitted building depth is 14 m.
The new row house will have a depth of 18.48 m.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to NOT approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.



SURVEYOR'S REAL PROPERTY REPORT

**PART 1 - PLAN OF
PART OF LOTS 7 AND 8
REGISTERED PLAN D-70
IN THE
CITY OF TORONTO
MUNICIPALITY OF METROPOLITAN TORONTO**

A. SKRANDA, O.L.S.
1997
SCALE 1 INCH = 15 FEET
25m 0 25 50m

DIMENSIONS SHOWN HEREON ARE IN IMPERIAL
AND CAN BE CONVERTED TO METRIC BY MULTIPLYING BY 0.3048.

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PART 2 - REPORT SUMMARY

DESCRIPTION OF LAND
PART OF LOTS 7 AND 8, REGISTERED PLAN D-70, CITY OF TORONTO
KNOWN AS MUNICIPAL NO. 106 EUCLID AVENUE

REGISTERED EASEMENTS AND/OR RIGHTS OF WAY
NONE

ENCROACHMENTS
NONE

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS
NOT CERTIFIED BY THIS REPORT

ADDITIONAL REMARKS
NONE

THIS REPORT WAS PREPARED FOR F. SILVA AND O. SILVA
AND ALL OTHER PARTIES TO THE TRANSACTION.

BEARING NOTE

BEARINGS SHOWN HEREON ARE ASTROLOGIC
AND REFERRED TO THE WESTERLY LIMIT
OF THE SURVEYED PROPERTY, BEING N. 89° 07' 33" W. APPROXIMATELY.

- (A) DENOTES SURVEY MONUMENT PLANTED
- (M) DENOTES MEASURED
- (C) DENOTES CORNER
- (P) DENOTES REGISTERED PLAN D-70
- (C) DENOTES CHAIN LINK/IRON
- (S) DENOTES STANDARD IRON BAR

SURVEYOR'S CERTIFICATE

1. I CERTIFY THAT:
I WAS SURVEY AND PLAN ARE CORRECT AND IN
ACCORDANCE WITH THE REGISTRY ACT,
THE REGISTRY ACT, AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 24th DAY
OF MAY, 1997.

[Signature]
A. SKRANDA
ONTARIO LAND SURVEYOR

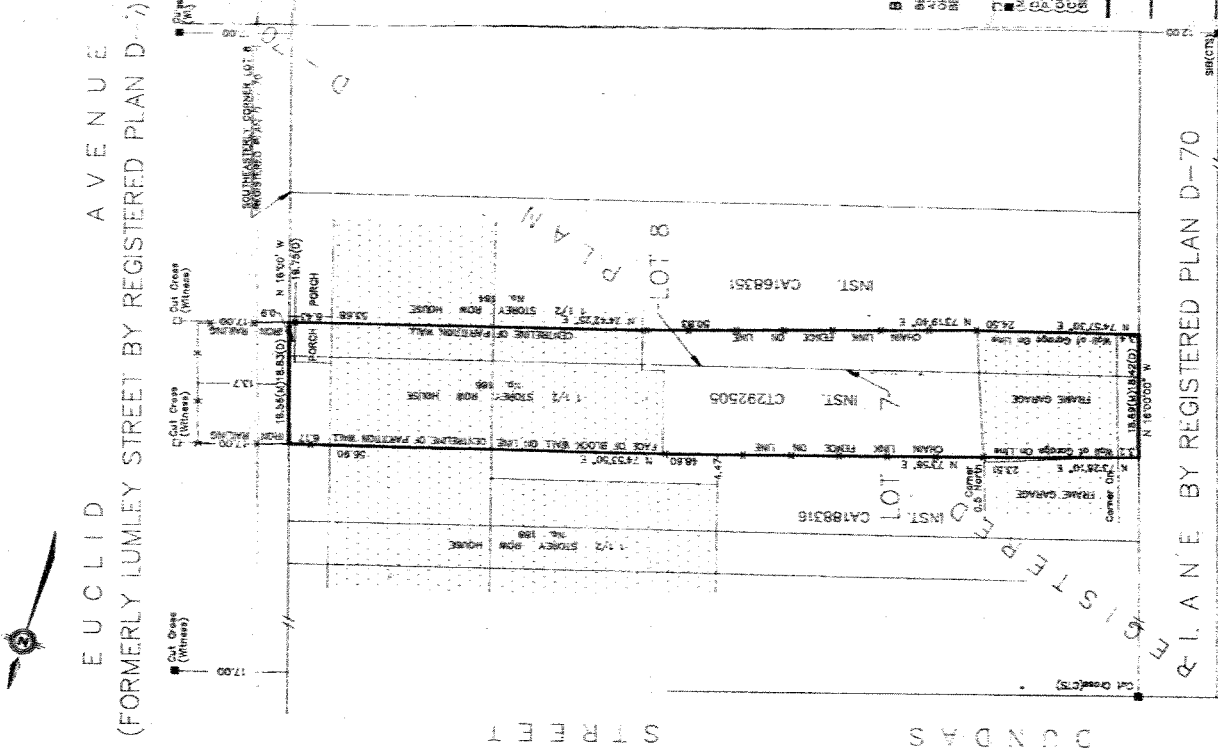
May 24, 1997
DATE

A. SKRANDA SURVEYING LTD.

180 HWY. NO. 7 WEST (UNIT 1)
BRAMPTON, ONTARIO L7A 1A2
PHONE: (905)451-1842 (FAX: 451-1845)

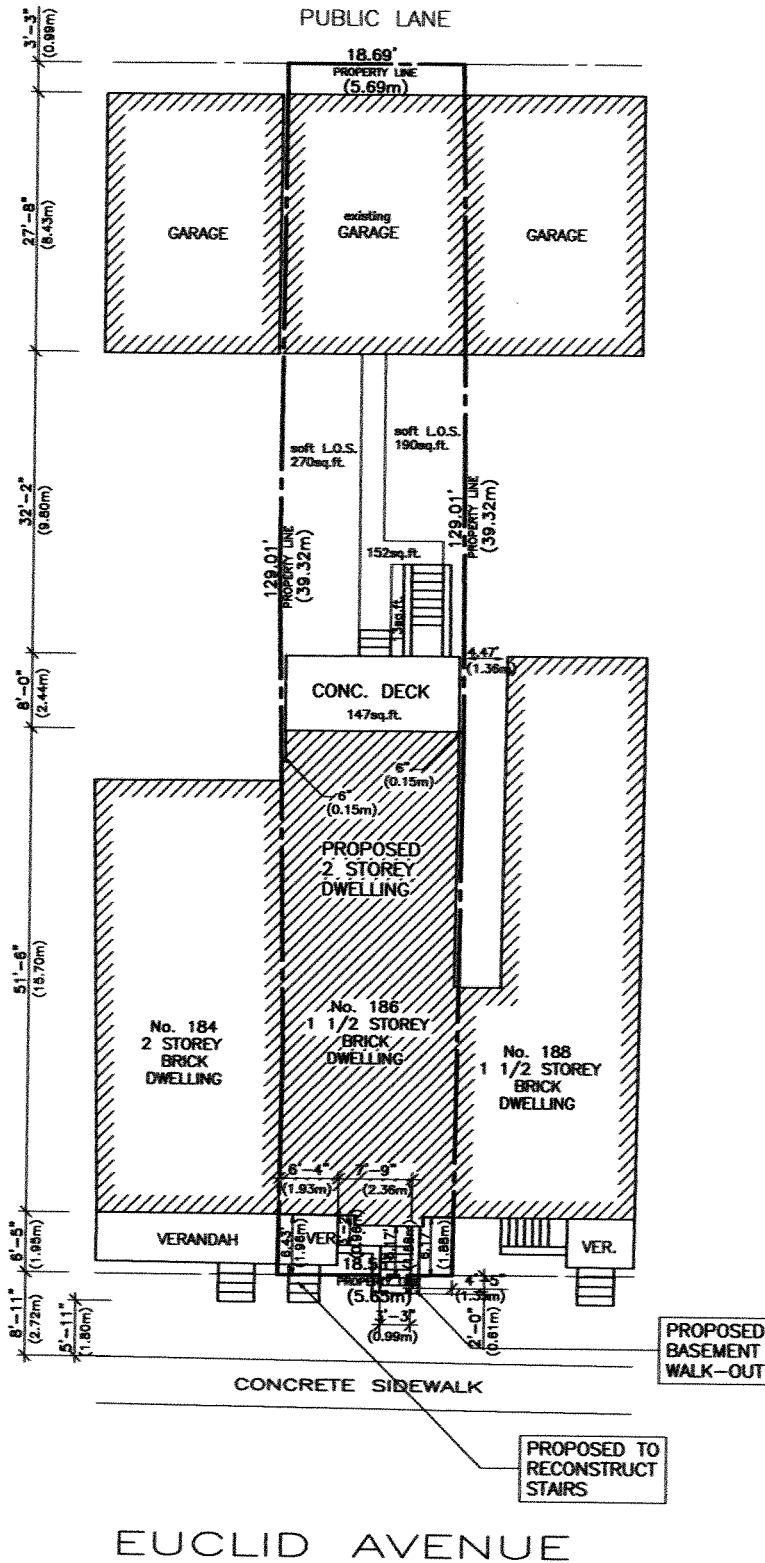
PROJECT: 6613

THIS IS NOT A VALID COPY UNLESS
PASSED WITH SEAL

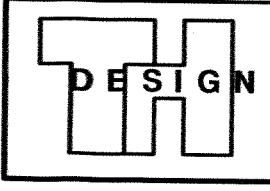


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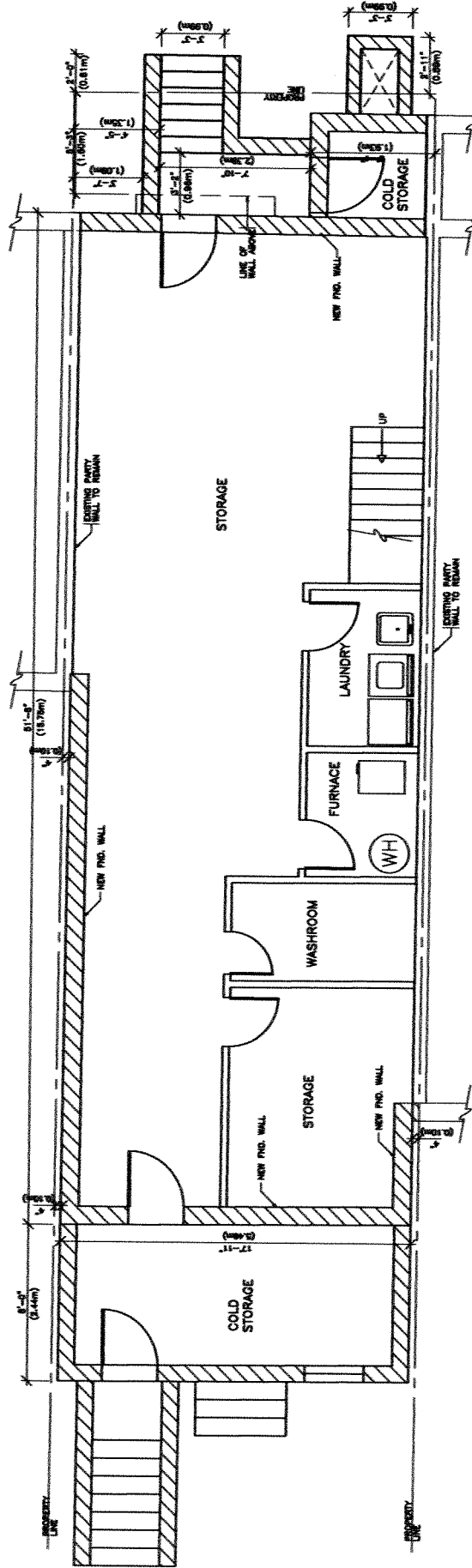
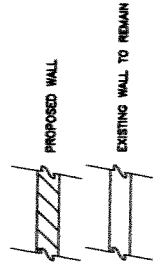




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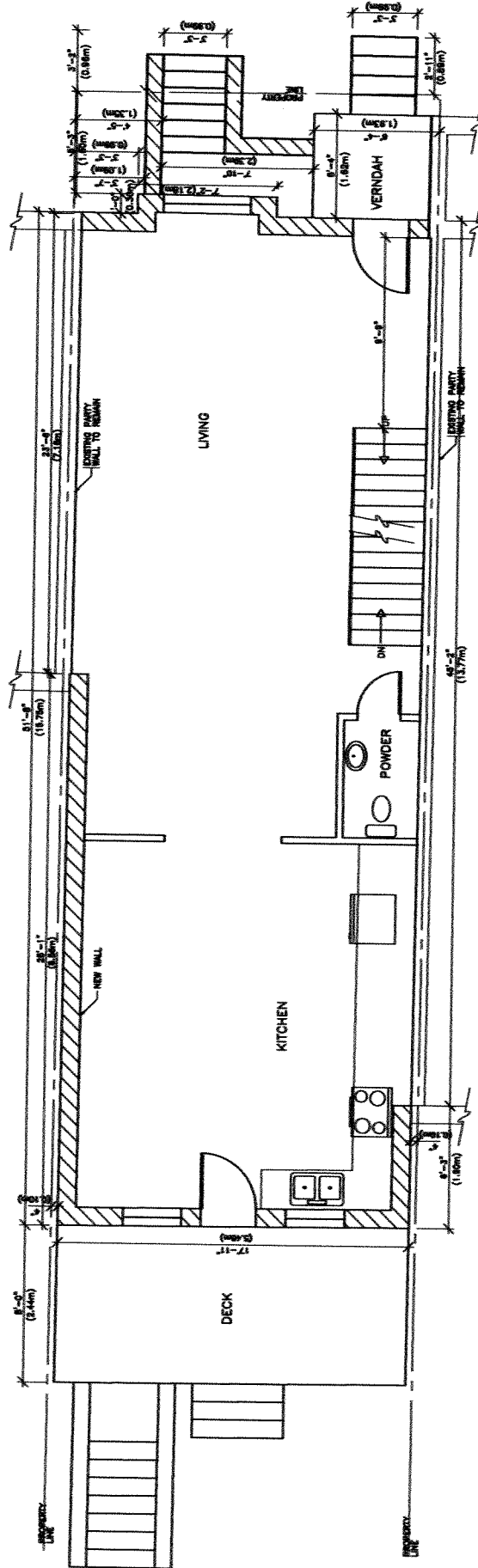
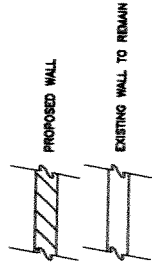
SITE PLAN JANUARY 25, 2016 SCALE:	TH DESIGN INC.	543 Concord Avenue Toronto, Ontario M6H2R2
	186 EUCLID AVENUE	1
	PROJECT NO. 97260	



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PROP. BASEMENT PLAN

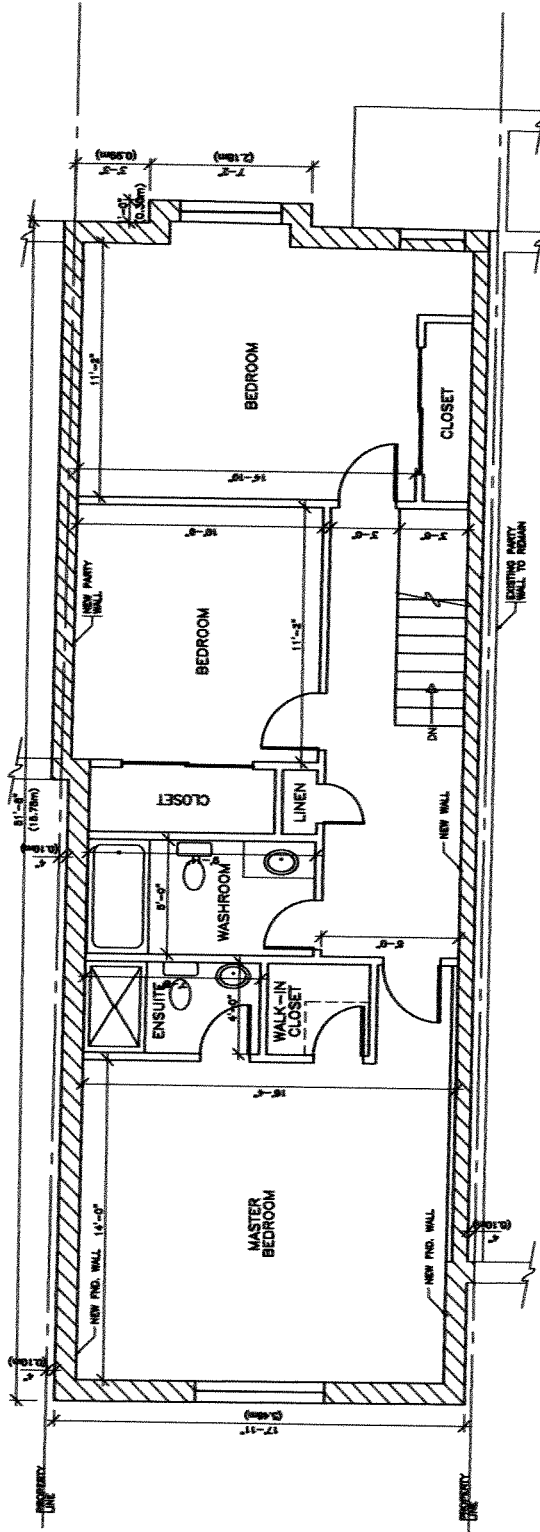
	TH DESIGN INC. 543 CONCORD AVENUE TORONTO, ONTARIO M6H 2R2 FAX: 416-530-1871 TEL: 647-560-9843	BASEMENT PLAN OWNER: 186 EUCLID AVENUE	2
	JANUARY 25, 2016 SCALE:	PROJECT NO. 13340	



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PROP. FIRST FLOOR PLAN

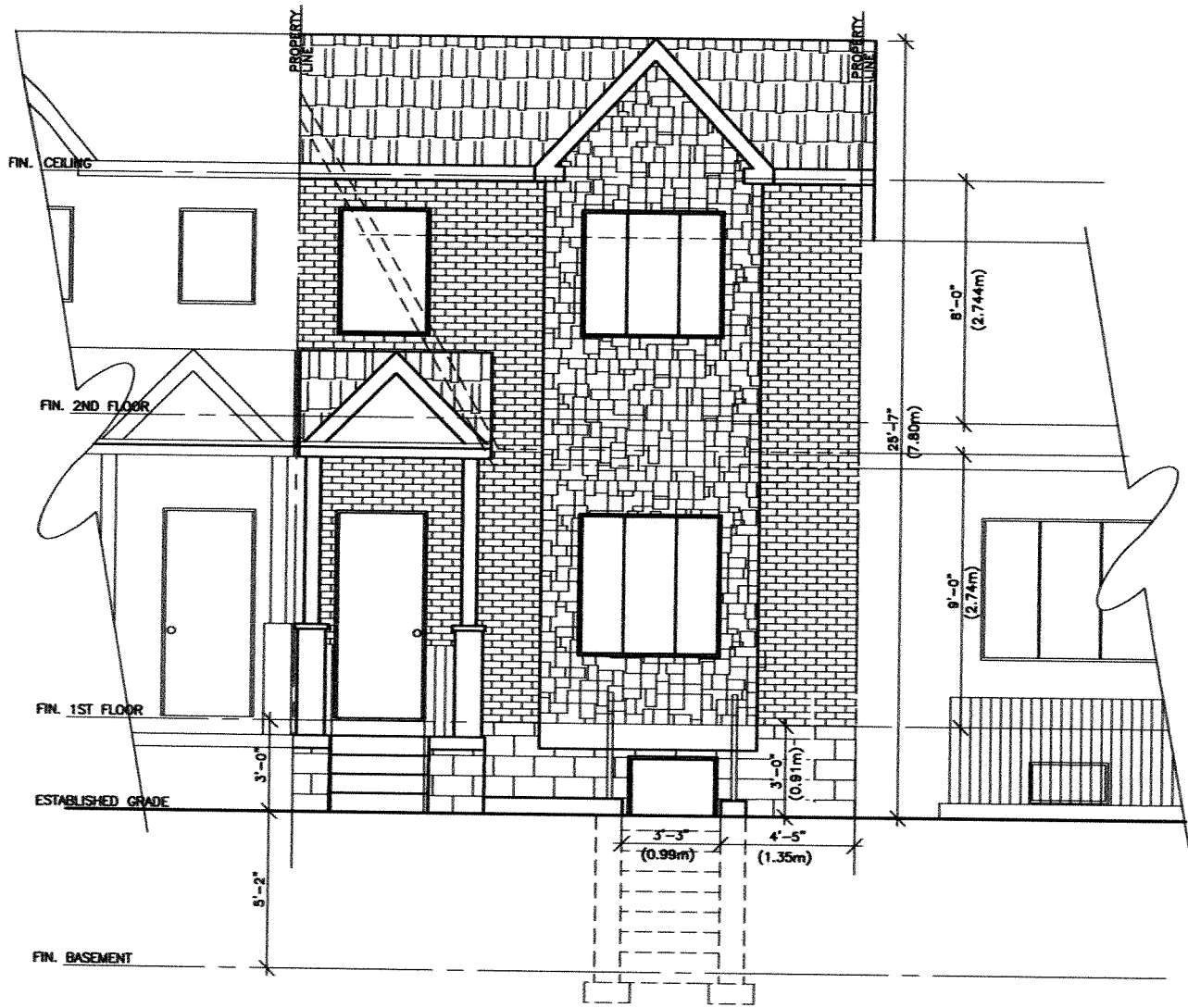
	TH DESIGN INC. 543 CONCORD AVENUE TORONTO, ONTARIO M6H 2R2 FAX: 416-530-1871 TEL: 647-560-9843	1ST FLOOR PLAN OWNER: 186 EUCLID AVENUE	3 PROJECT NO. 13340
	JANUARY 25, 2016 SCALE:		



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PROP. SECOND FLOOR PLAN

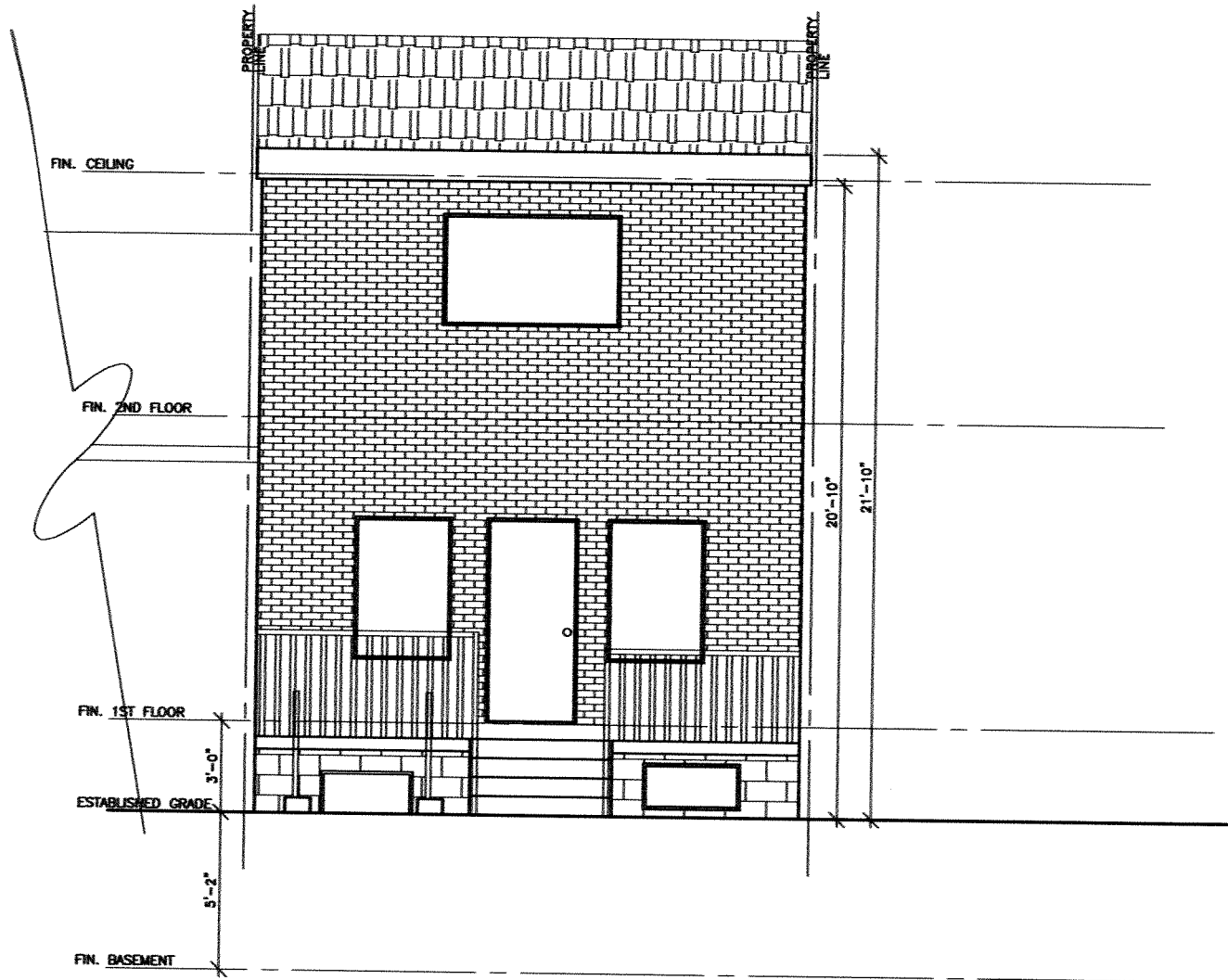
	TH DESIGN INC. 543 CONCORD AVENUE TORONTO, ONTARIO M6H 2R2 FAX: 416-530-1871 TEL: 647-560-9843	2ND FLOOR PLAN OWNER: 186 EUCLID AVENUE	4 PROJECT NO. 13340
	JANUARY 25, 2016 SCALE:		



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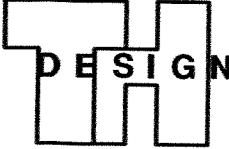
PROP. FRONT ELEVATION

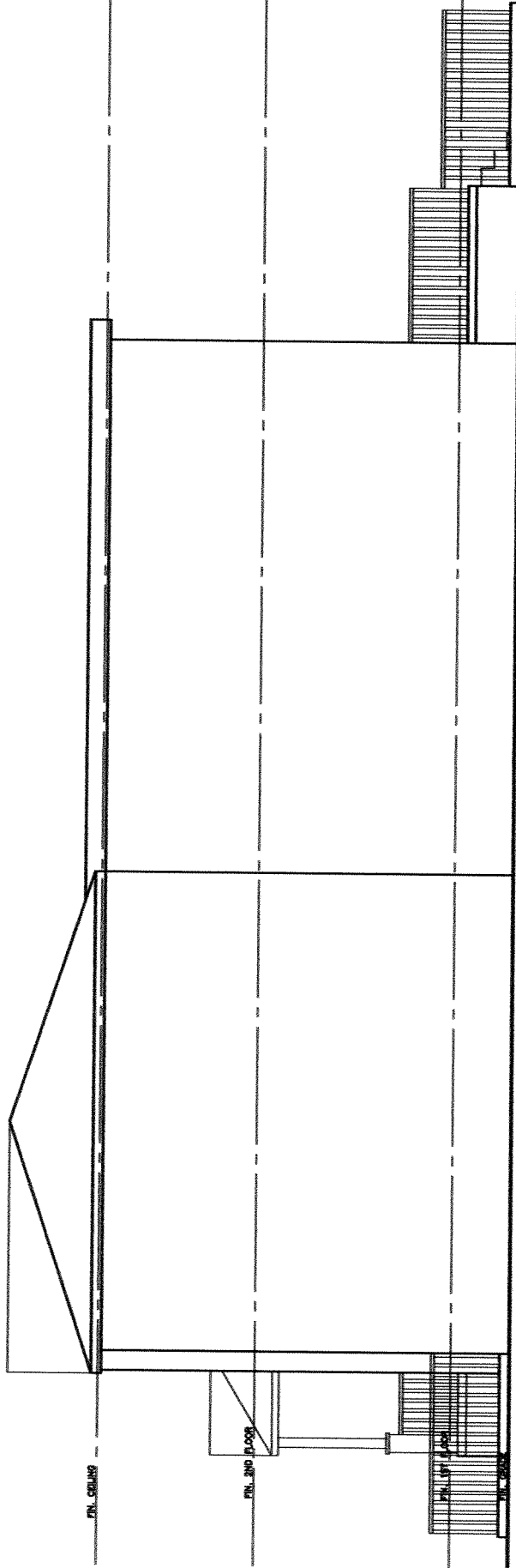
	FRONT ELEVATION	TH DESIGN INC.	543 Concord Avenue Toronto, Ontario M6H2R2
	JANUARY 25, 2016	186 EUCLID AVENUE	5
	SCALE:	PROJECT NO. 13340	



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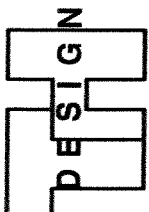
PROP. REAR ELEVATION

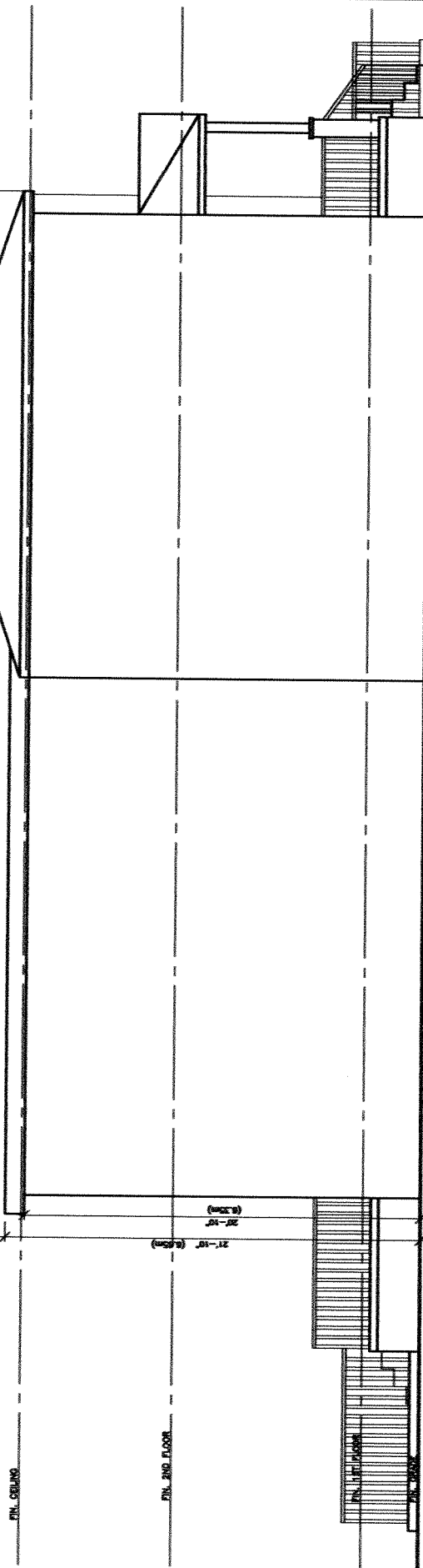
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	JANUARY 25, 2016	186 EUCLID AVENUE	
	SCALE:	PROJECT NO.	13340



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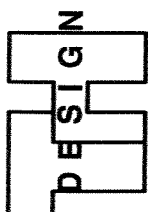
SIDE ELEVATION (NORTH)

	TH DESIGN INC. 543 CONCORD AVENUE TORONTO, ONTARIO M6H 2R2 FAX: 416-530-1871 TEL: 647-560-9843	SIDE ELEVATION JANUARY 25, 2016 SCALE:	OWNER: 186 EUCLID AVENUE PROJECT No. 13340
	7		



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SIDE ELEVATION (SOUTH)

	TH DESIGN INC. 543 CONCORD AVENUE TORONTO, ONTARIO M6H 2R2 FAX: 416-530-1871 TEL: 647-560-9843		SIDE ELEVATION OWNER:	186 EUCLID AVENUE PROJECT NO. 13340	8
	JANUARY 25, 2016 SCALE:	186 EUCLID AVENUE			