



*After*



*Concept*



*Before*

Sheet Index

ID	Name
A-1	Cover
A-2	Survey
A-3	Site Plan
A-4	Legends, Schedules & Existing Elevations
A-5	Existing Foundation Plan
A-6	Existing Ground Floor Plan
A-7	Foundation Demolition Plan
A-8	Ground Floor Demolition Plan
A-9	Proposed Foundation Plan
A-10	Proposed Ground Floor Plan
A-11	Proposed Second Floor Plan
A-12	Proposed North Elevation
A-13	Proposed South Elevation
A-14	Proposed East Elevation
A-15	Proposed West Elevation
A-16	Roof Plan & Floor Areas
A-17	Sections & Details
A-18	Details

**Proposed Second Storey Addition & Interior Renovations to:  
193 Pendrith St., Toronto Ontario**

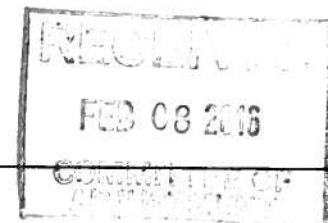
Project No.: ACC201505002

Client: Mark Freedman & Robyn Blackstien

**Accuvision**

Design • Planning • Management  
Cambridge, ON N3C 2S3  
t: 519.241.9446

Printing Date: 02/02/2016



**SURVEYOR'S REAL PROPERTY REPORT**  
 PART 1) PLAN AND TOPOGRAPHIC DETAIL OF  
**PART OF BLOCK C**  
**REGISTERED PLAN D-1443**  
**CITY OF TORONTO**  
 SCALE 1:200

**VLADIMIR DOSEN SURVEYING, O.L.S.**



**PART 2) SURVEY REPORT**  
 REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:  
 NO EASEMENTS OR RIGHTS OF WAYS WERE IDENTIFIED  
 ON THIS PLAN. THE PLAN DOES NOT CARRY COVENANTS, RESTRICTIONS  
 OR LIENS.

THIS REPORT WAS PREPARED FOR  
 THE CLIENT AND THE UNDERSIGNED ACCEPTS NO  
 RESPONSIBILITY FOR USE BY  
 OTHER PARTIES.

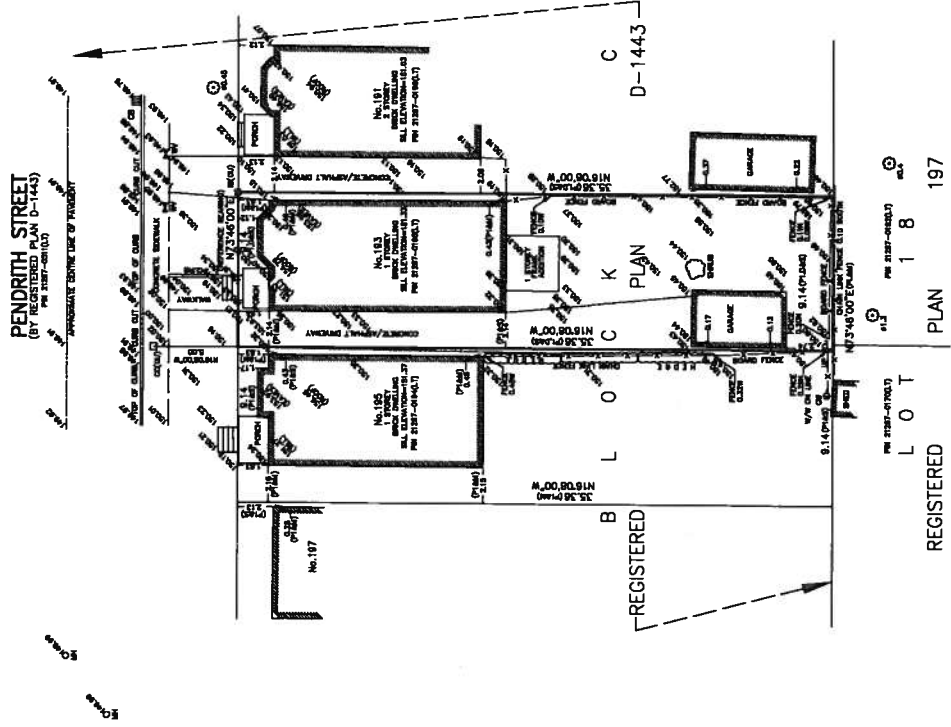
**ELEVATION NOTE:**  
 ELEVATIONS ARE LOCAL

**METRIC**  
 DISTANCES SHOWN ON THIS  
 PLAN ARE IN METRES AND  
 FEET BY DIVIDING BY 0.3048

ASSOCIATION OF ONTARIO  
 LAND SURVEYORS  
 #A44688000/0007  
 19586633



THIS PLAN WAS PREPARED  
 IN ACCORDANCE WITH THE  
 SURVEY ACT AND REGULATIONS  
 THEREUNDER AND THE  
 PROFESSIONAL CODE OF ETHICS  
 AND CONDUCT OF THE SURVEYOR  
 IN ACCORDANCE WITH  
 REGULATION 1028, SECTION 2(1).



**NOTES AND LEGEND**  
 1. DIMENSIONS SHOWN ARE AS SHOWN ON THIS PLAN.  
 2. DIMENSIONS SHOWN ARE AS SHOWN ON THIS PLAN.  
 3. DIMENSIONS SHOWN ARE AS SHOWN ON THIS PLAN.  
 4. DIMENSIONS SHOWN ARE AS SHOWN ON THIS PLAN.  
 5. DIMENSIONS SHOWN ARE AS SHOWN ON THIS PLAN.  
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 9. DIMENSIONS SHOWN ARE AS SHOWN ON THIS PLAN.  
 10. DIMENSIONS SHOWN ARE AS SHOWN ON THIS PLAN.

**BEARING NOTE:**  
 BEARINGS ARE QUADRANTAL AND ARE  
 GIVEN AS SHOWN ON THIS PLAN.  
 AS SHOWN ON REGISTERED PLAN D-1443  
 HAVING A BEARING OF N102°40'00"E

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:  
 1. THE PLAN AND THIS REPORT WERE PREPARED BY ME OR UNDER MY SUPERVISION AND I AM A REGISTERED SURVEYOR IN THE PROVINCE OF ONTARIO.  
 2. THE REGULATIONS WERE MADE UNDER THE SURVEY ACT.  
 3. THE PLAN WAS COMPLETED ON THE 02/02/2016 DATE.  
 VLADIMIR DOSEN, B.S.C.  
 ONTARIO LAND SURVEYOR

**VLADIMIR DOSEN SURVEYING**  
 ONTARIO LAND SURVEYORS  
 585 DAVENPORT AVENUE  
 TORONTO, ONTARIO M4S 1Z2  
 PHONE: (416) 465-0440 EMAIL: vlad@dosensurveying.com  
 CAD FILE: 183 PENDRITH STREET-SRPR  
 DRAWN BY: NATHAN FIELD/EODN FILE: 11-5016  
 CHECKED BY: YD JSB ENG 151163

**REGISTERED**  
**LOT 18**  
**PLAN 197**

**General Notes**  
 All drawings remain the property of the design company.  
 Do not scale drawings.  
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 Failure to do so will not relieve the contractor from extra cost resulting from additional work.

Sheet Index

ID	Name
A-1	Intro
A-2	Survey
A-3	Top Plan
A-4	Legend, Schedule B Existing Elevations
A-5	Existing Foundation Plan
A-6	Existing Ground Floor Plan
A-7	Foundation Demolition Plan
A-8	Ground Floor Demolition Plan
A-9	Proposed Foundation Plan
A-10	Proposed Ground Floor Plan
A-11	Proposed Second Floor Plan
A-12	Proposed North Elevation
A-13	Proposed South Elevation
A-14	Proposed East Elevation
A-15	Proposed West Elevation
A-16	Roof Plan & Floor Areas
A-17	Sections & Details
A-18	Details

**Declaration of Designer**  
 I, Rick Rogers, declare that I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4 of the Building Code. I am qualified and the firm is registered, in the appropriate classes/categories.  
 Individual BCIN: 28409  
 Firm BCIN: 32209  
 I certify that:  
 1. The information contained in this schedule is true to the best of my knowledge.  
 2. I have authority to bind the corporation or partnership.

Signature: *[Signature]*

#	Description	Date

**Accuvision**  
 Accuvision 2000 Inc.  
 75 Richmond Avenue  
 Cambridge, ON N3C 2S3  
 T: 519.241.3448  
 email: rbangera19@gmail.com  
 \*Innovative yet functional design solutions\*

**Proposed Second Storey Addition & Interior Renovations to:**  
 183 Pendrith St.,  
 Toronto, Ontario M6G 1R9  
 Client: Mark Freedman & Robyn Blackstien

Drawn By: RHB  
 Scale: As Indicated  
 Printing Date: 02/02/2016  
 Project No. APC201505002

FEB 08 2016  
 A-2

Pendrith Street

APPROXIMATE CENTRELINE OF PAVEMENT

CONCRETE CURB

CONCRETE SIDEWALK

PROPOSED SECOND FLOOR CANTILEVER

EXIST'G FRONT WALL

EXIST'G STOOP

EXISTING NEIGHBOURING 2 STOREY BRICK DWELLING NO.191

EXISTING NEIGHBOURING 1 STOREY BRICK DWELLING NO.195

PROPOSED SECOND STOREY ADDITION TO SINGLE FAMILY RESIDENTIAL DWELLING (BRICK & STUCCO) NO.193

ASPHALT DRIVEWAY

PROPOSED WOOD DECK 1

PROPOSED WOOD DECK 2

EXIST'G SINGLE STOREY FRAME ADDITION

GARAGE

GARAGE

Existing  
104.68 sq.m  
n/a

Proposed  
n/a  
96.05 sq.m

**Site Data:**

Zoning:  
Lot Area: 323.19 sq.m  
Dwelling Area:

Setbacks	Existing	Proposed
North	1.83 m	1.12 m (Second Floor Cantilever)
South	16.33 m	same
East	0.42 m	same
West	2.14 m	same

Note: This Site Plan taken in part from sketch survey of part of Block C Registered Plan D-1443  
City of Toronto  
By: Vladimir Dosen OLS  
Date: June 5th, 2015

All existing front and rear yard landscaping to remain undisturbed and unaltered.

Rear Yard Landscaping Calc's  
Rear Yard Area = 9.14m x 19.40m = 177.31 sq.m  
Existing Single Storey Rear Addition = 9.73 sq.m  
Existing Detached Garage = 19.16 sq.m  
Existing Rear Driveway (Asphalt) = 29.45 sq.m  
Proposed Wood Deck1 & Steps = 2.39 sq.m  
Proposed Wood Deck2 & Steps = 3.97 sq.m

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**Sheet Index**

ID	Name
A-1	Encls
A-2	Site Plan
A-3	Site Plan
A-4	Site Plan, Site Schedule & Existing Elevations
A-5	Existing Foundation Plan
A-6	Existing Ground Floor Plan
A-7	Foundation Demolition Plan
A-8	Ground Floor Demolition Plan
A-9	Proposed Foundation Plan
A-10	Proposed Ground Floor Plan
A-11	Proposed Second Storey Plan
A-12	Proposed North Elevation
A-13	Proposed South Elevation
A-14	Proposed East Elevation
A-15	Proposed West Elevation
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A-17	Sections & Details
A-18	Details

**Declaration of Designer**

I, Rick Boogers, declare that I review and take responsibility for the design work on behalf of a firm registered under subsection 2.174 of the Building Code. I am qualified and the firm is registered, in the appropriate classes/categories.  
Individual BCIN: 28488  
Firm BCIN: 32228

- I certify that:
- The information contained in this schedule is true to the best of my knowledge.
  - I have authority to bind the corporation or partnership

Signature

NO.	DESCRIPTION	DATE
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**Accuvision**

Accuvision 2000 Inc.  
75 Radwood Avenue  
Cambridge, ON N3C 2S3  
t: 519.241.9448  
email: rboogers19@gmail.com  
"Innovative yet functional design solutions"

Proposed Second Storey Addition & Interior Renovations to:  
183 Pendrith St.,  
Toronto, Ontario M6G 1R9

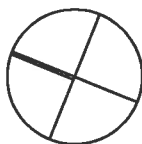
Client: Mark Freedman & Robyn Blackstein

Drawn By: RHB  
Scale: As Indicated  
Printing Date: 02/02/2016  
Project No. ACC201505002

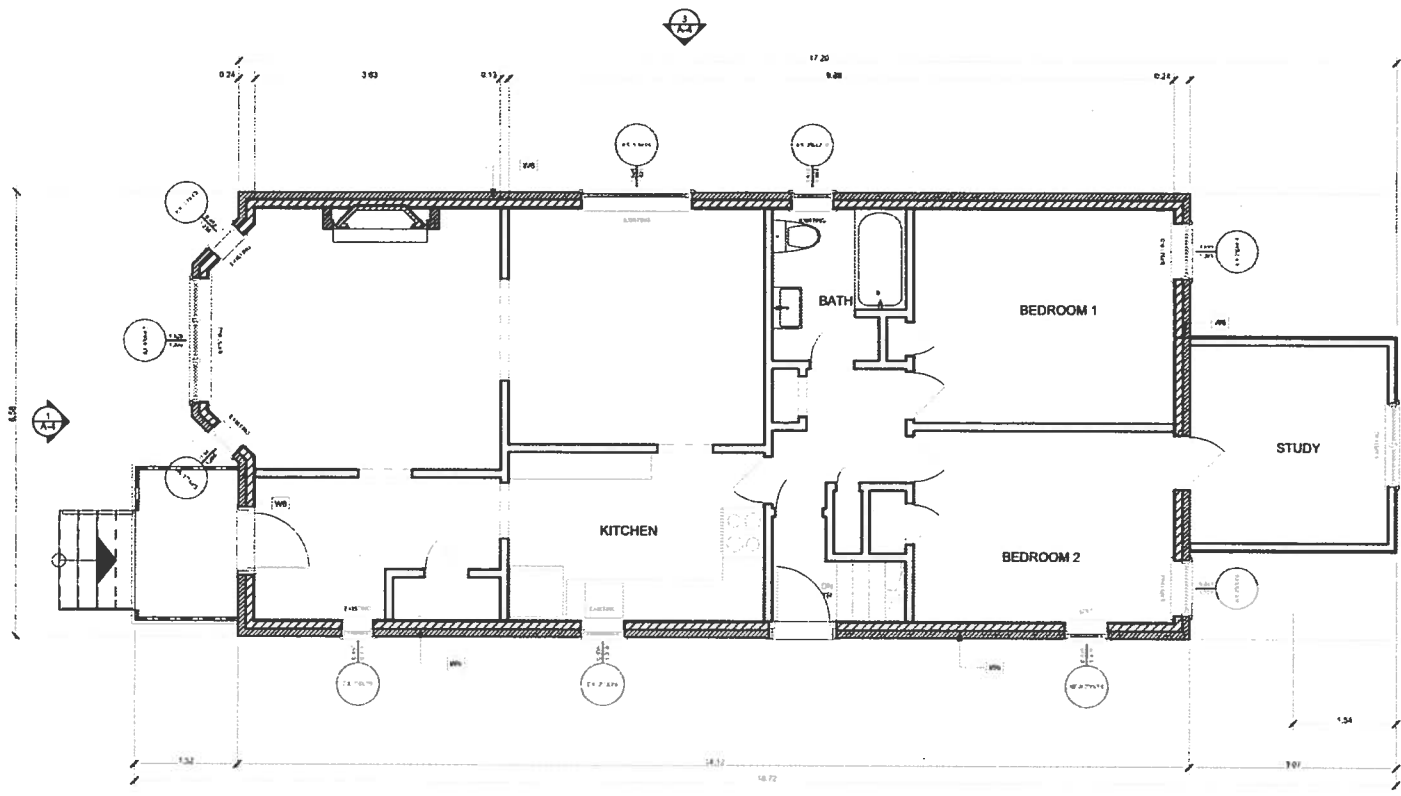
Site Plan  
**A-3**

**1** Site Plan  
SCALE: 1:100

N







**1 Existing Ground Floor (Metric)**  
SCALE: 1:50

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Sheet Index

ID	Name
A-1	Cover
A-2	Survey
A-3	Site Plan
A-4	Siteplan, Foundations & Existing Elements
A-5	Existing Foundation Plan
A-6	Existing Ground Floor Plan
A-7	Foundation Demolition Plan
A-8	Ground Floor Demolition Plan
A-9	Proposed Foundation Plan
A-10	Proposed Ground Floor Plan
A-11	Proposed Second Floor Plan
A-12	Proposed North Elevation
A-13	Proposed South Elevation
A-14	Proposed East Elevation
A-15	Proposed West Elevation
A-16	Roof Plan & Floor Joists
A-17	Sections & Details
A-18	Details

**Declaration of Designer**  
I, **Rick Bonomo**, declare that I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4 of the Building Code. I am qualified and the firm is registered, in the appropriate classes/categories.  
Individual BCIN: 28438  
Firm BCIN: 32288  
I certify that:  
1. The information contained in this schedule is true to the best of my knowledge.  
2. I have authority to bind the corporation or partnership.

Signature: *[Signature]*

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**Accuvision**

Accuvision 2000 Inc.  
76 Redwood Avenue  
Cambridge, ON N3C 2B3  
E 519.241.9448  
email: rbonomo18@gmail.com  
\*Innovative yet functional design solutions\*



Proposed Second Storey Addition & Interior Renovations to:  
183 Penderith St.,  
Toronto, Ontario M6G 1R9  
Client: Mark Freedman & Robyn Blackstien

Drawn By: RHB  
Scale: As Indicated  
Printing Date: 02/02/2016  
Project No. ACC201505002

Existing Ground Floor Plan  
**A-6**

**WALL SCHEDULE**

NOTE: REFER TO DRAWINGS AND SPECS FOR SPECIFICALLY ASSIGNED WALL ASSEMBLIES AS THEY RELATE TO THIS PROJECT AND SITE SPECIFIC CONDITIONS

- W1 EXISTING 8" CONC. BLK. FNDTN. WALL ON 6"X16" POURED CONC. FTG.
- W2 EXISTING 10" CONC. BLK. FNDTN. WALL ON 8"X18" POURED CONC. FTG.
- W3 EXISTING 8" POURED CONC. FNDTN. WALL ON 6"X16" POURED CONC. FTG.
- W4 EXISTING EXTERIOR FRAME WALL
- W5 EXISTING EXTERIOR BRICK VENEER WALL
- W6 EXISTING EXTERIOR SOLID MASONRY WALL
- W7 EXISTING 8" CONC. BLK. LOAD BEARING WALL
- W8 EXISTING 2"x4" INTERIOR FRAME WALL - NON LOAD BEARING

- W9 NEW 12" EXTERIOR FOUNDATION WALL "MIRADRAN 2000" OR EQUIV. DRAINAGE MEMBRANE, 2 COATS ASPHALT EMULSION DAMPRFG., 1/2" CEMENT PARFGS., 1" CONC. BLK. SEMI-SOLID TOP COURSE c/w 1/2" DIAM. A.B. @ 32% c.c., ON 8"X20" POURED CONC. FTG. MIN. 4'-0" BELOW GRADE. R20 FIBREGL. INSUL W/5 ml POLY.V.B.
- W10 NEW 10" EXTERIOR FOUNDATION WALL "MIRADRAN 2000" OR EQUIV. DRAINAGE MEMBRANE, 2 COATS ASPHALT EMULSION DAMPRFG., 1/2" CEMENT PARFGS., 1" CONC. BLK. SEMI-SOLID TOP COURSE c/w 1/2" DIAM. A.B. @ 32% c.c., ON 8"X18" POURED CONC. FTG. MIN. 4'-0" BELOW GRADE. R20 FIBREGL. INSUL W/5 ml POLY.V.B.

- W11 NEW 8" EXTERIOR FOUNDATION WALL "MIRADRAN 2000" OR EQUIV. DRAINAGE MEMBRANE, 2 COATS ASPHALT EMULSION DAMPRFG., 1/2" CEMENT PARFGS., 1" CONC. BLK. SEMI-SOLID TOP COURSE c/w 1/2" DIAM. A.B. @ 32% c.c., ON 8"X16" POURED CONC. FTG. MIN. 4'-0" BELOW GRADE.

- W12 NEW CLAD EXTERIOR WALL ACRYLIC BASE STUCCO, FIBRENE MESH, 1" EXTRUDED POLYSTYRENE (TO COMPLY WITH DIV B S28) 2'X6" @ 16" o.c., R24 FIBREGL. BATT. INSUL., 6 ml POLY.V.B., 1/2" GYPSUM BRD.

- W13 NEW CLAD EXTERIOR WALL 4" HORIZ. SIDING, TYVEK® ON EQUIV. BLDG. WRAP, 7/16" SHEATHG 2'X6" @ 16" o.c., R24 FIBREGL. BATT. INSUL., 6 ml POLY.V.B., 1/2" GYPSUM BRD.

- W14 NEW 4" STONE OR BRICK VENEER EX.T. WALL (SEE ELEV'S) 4" STONE OR BRICK VENEER, 1" AIR SPACE, FLASHG & WEIP HOLS'S TO OBC 9.20.13.7 & 9.20.13.9 TYVEK® OR EQUIV. BLDG. WRAP, 7/16" SHEATHG 2'X6" @ 16" o.c., R24 FIBREGL. BATT. INSUL., 6 ml POLY.V.B., 1/2" GYPSUM BRD.

**POURED SLAB SCHEDULE**

- S1 BASEMENT SLAB ASSEMBLY 4" POURED CONC. SLAB MIN. 25Mpa (3,600 PSI) ON 4" CLEAR STONE
- S2 GARAGE SLAB ASSEMBLY 4" POURED CONC. SLAB c/w 6"X6" W.W.M., MIN. 25Mpa (3,600 PSI) ON 5" CLEAR STONE

**POURED SLAB SCHEDULE**

- C1 NEW (3/2"x4") WD. COL. IN EXISTING FRAME WALL
- C2 NEW (3/2"x6") WD. COL.
- C3 3 1/2" DIAM. X 0.25" STL. COL. c/w 6"X6"X12" CAP & B.P.L.
- PL DENOTES LOCATION OF POINT LOAD

**GRAPHIC SYMBOLS**

- 2 DRAWING NUMBER
- A-8 SHEET NUMBER
- 1/2 ELEVATION NO
- 4 3 A-1 SHEET NUMBER

**LINTEL SCHEDULE**

MK	DESCRIPTION	MAX. SPAN
L1	L-3 1/2" X 3 1/2" X 14"	3'-11"
L2	L-3 1/2" X 3 1/2" X 5/16"	4'-11"
L3	L-4" X 3 1/2" X 5/16"	6'-1"
L4	L-5" X 3 1/2" X 5/16"	7'-10"
L5	L-5" X 3 1/2" X 3/8"	8'-10"
L6	L-6" X 4" X 3/8"	9'-11"
L7	2" X 2" X 8"	5'-6"
L8	2" X 2" X 10"	6'-5"
L9	2" X 2" X 12"	7'-4"
L10	3" X 2" X 10"	8'-0"
L11	4" X 2" X 10"	12'-0"

**STAIR & RAILING DIMENSIONS**

STAIR WIDTH	860mm MIN. WIDTH (2'-10")
RISERS	200mm MAX. (7'-7/8")
RUN	210mm MIN. (8'-7/4")
TREADS	235mm MIN. (9'-1/4")
HEADROOM	1.85m MIN. (6'-5")
HANDRAILS	900mm MIN. (2'-11") OVER STAIRS 1070mm MIN. (3'-6") OVER LANDINGS

NOTE: GENERAL CONTRACTOR TO MAKE SITE VISIT TO VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING QUOTATION, REPORT AND DISCREPANCIES TO DESIGNER PRIOR TO SUBMITTING QUOTATION. FAILURE TO DO SO WILL NOT RELIEVE THIS CONTRACTOR FROM EXTRA COST RESULTING FROM ADDITIONAL WORK

**WALL LEGEND**

- NEW WALL
- NEW WALL
- EXISTING WALL
- EXISTING WALL TO BE REMOVED (MAKE GD.)
- ALL EXPOSED FINISH



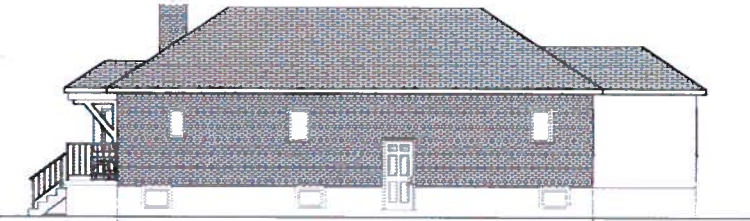
**1 Existing North Elevation**  
SCALE: 1:100



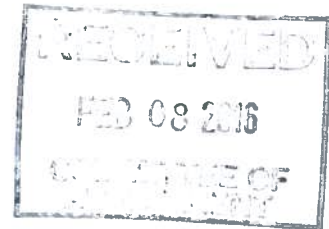
**3 Existing East Elevation**  
SCALE: 1:100



**2 Existing South Elevation**  
SCALE: 1:100



**4 Existing West Elevation**  
SCALE: 1:100



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Sheet Index

ID	Name
A-1	Cover
A-2	Survey
A-3	Site Plan
A-4	Legends, Schedule & Existing Elevations
A-5	Existing Foundation Plan
A-6	Existing Ground Floor Plan
A-7	Foundation Dimension Plan
A-8	Ground Floor Dimension Plan
A-9	Proposed Foundation Plan
A-10	Proposed Ground Floor Plan
A-11	Proposed Second Floor Plan
A-12	Proposed North Elevation
A-13	Proposed South Elevation
A-14	Proposed East Elevation
A-15	Proposed West Elevation
A-16	Roof Plan & Floor Areas
A-17	Sections & Details
A-18	Details

**Declaration of Designer**  
I, Rick Bonnes, declare that I review and take responsibility for the design work on behalf of a firm registered under subsection 2.174 of the Building Code. I am qualified and the firm is registered, in the appropriate classes/categories.  
Individual BCIN: 22688  
Firm BCIN: 32228  
I certify that:  
1. The information contained in this schedule is true to the best of my knowledge.  
2. I have authority to bind the corporation or partnership.  
Signature: *[Signature]*

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**Accuvision**

Accuvision 2000 Inc.  
75 Redwood Avenue,  
Cambridge, ON N3C 2B3  
t: 519.241.8448  
email: rbonnes16@gmail.com  
"innovative yet functional design solutions"

**Proposed Second Storey Addition & Interior Renovations to:**  
193 Pendrith St.,  
Toronto, Ontario M6G 1R9

Client: Mark Freedman & Robyn Blackallan

Drawn By: RHB  
Scale: As Indicated  
Printing Date: 02/02/2016  
Project No. ACC201505002

**Legends, Schedule & Existing Elevations**  
**A-4**







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**Sheet Index**

ID	Name
A-1	Cover
A-2	Survey
A-3	Site Plan
A-4	Requests, Schedule & Permitting Drawings
A-5	Existing & Foundation Plan
A-6	Existing Ground Floor Plan
A-7	Foundation Demolition Plan
A-8	Original Floor Demolition Plan
A-9	Proposed Foundation Plan
A-10	Proposed Ground Floor Plan
A-11	Proposed Second Floor Plan
A-12	Proposed North Elevation
A-13	Proposed South Elevation
A-14	Proposed East Elevation
A-15	Proposed West Elevation
A-16	Roof Plan & Floor Area
A-17	Sections & Details
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**Declaration of Designer**  
 I, **Rob Rogers**, declare that I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4 of the Building Code. I am qualified and the firm is registered, in the appropriate classes/categories.  
 Individual BCIN: 23438  
 Firm BCIN: 32202  
 I certify that:  
 1. The information contained in this schedule is true to the best of my knowledge.  
 2. I have authority to bind the corporation or partnership.  
 Signature: *[Signature]*

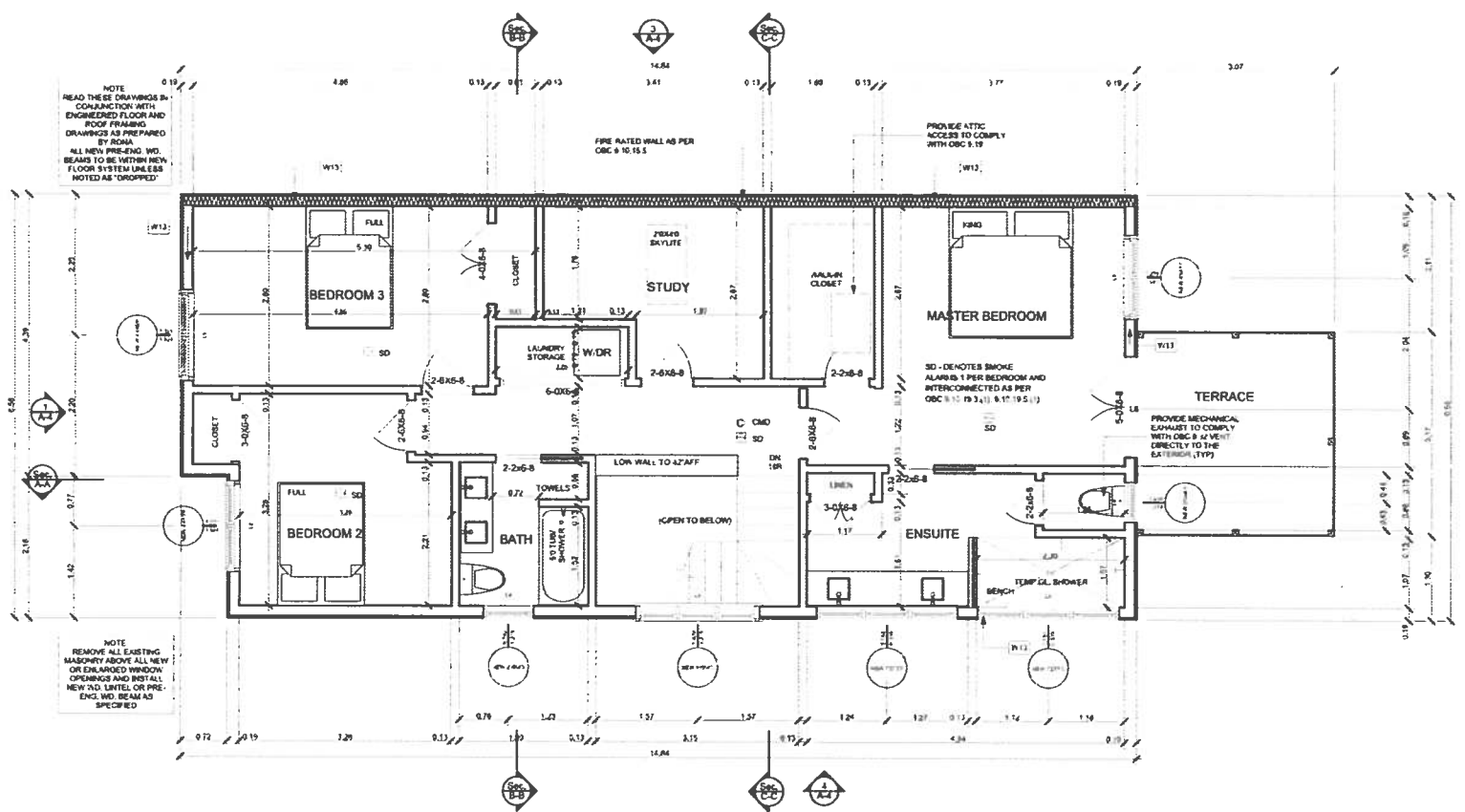
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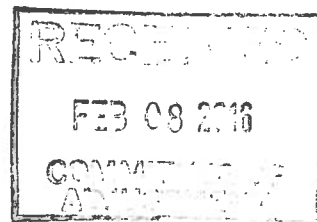
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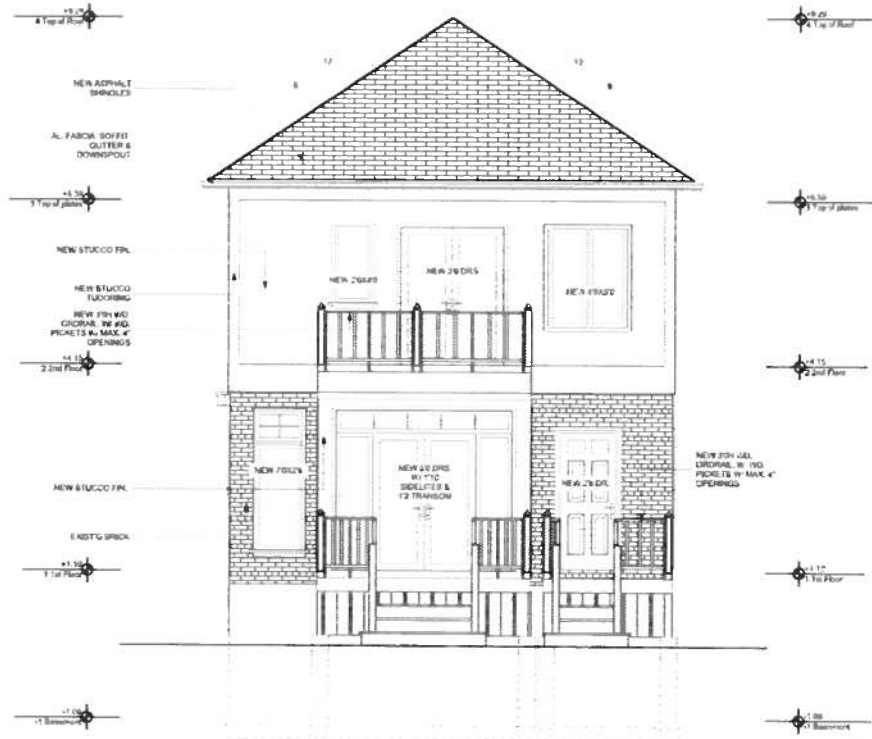
**Proposed Second Floor Plan**  
**A-11**



**1 Proposed Second Floor Plan (Metric)**  
 SCALE: 1:50







**1** Proposed South Elevation (Metric)  
SCALE: 1:50

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ID	Name
A-1	Cover
A-2	Survey
A-3	Site Plan
A-4	Layouts, Site/Block & Existing Elevations
A-5	Existing Foundation Plan
A-6	Existing Ground Floor Plan
A-7	Foundation Dimensions Plan
A-8	Ground Floor Demolition Plan
A-9	Proposed Foundation Plan
A-10	Proposed Ground Floor Plan
A-11	Proposed Second Floor Plan
A-12	Proposed North Elevation
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**Declaration of Designer**  
 I, Rick Bongers, declare that I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4 of the Building Code. I am qualified and the firm is registered, in the appropriate classes/categories.  
 Individual BCIN: 28489  
 Firm BCIN: 32288

I certify that:  
 1. The information contained in this schedule is true to the best of my knowledge.  
 2. I have authority to bind the corporation or partnership

Signature: *[Signature]*

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 Cambridge, ON N3C 2S3  
 t: 519.241.9446  
 email: rbongers19@gmail.com  
*"Innovative yet functional design solutions"*

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 183 Pendrith St.,  
 Toronto, Ontario M6G 1R9

Client: Mark Freedman & Robyn Blackstien

Drawn By: RHB  
 Scale: As Indicated  
 Printing Date: 02/02/2016  
 Project No. ACC201505002

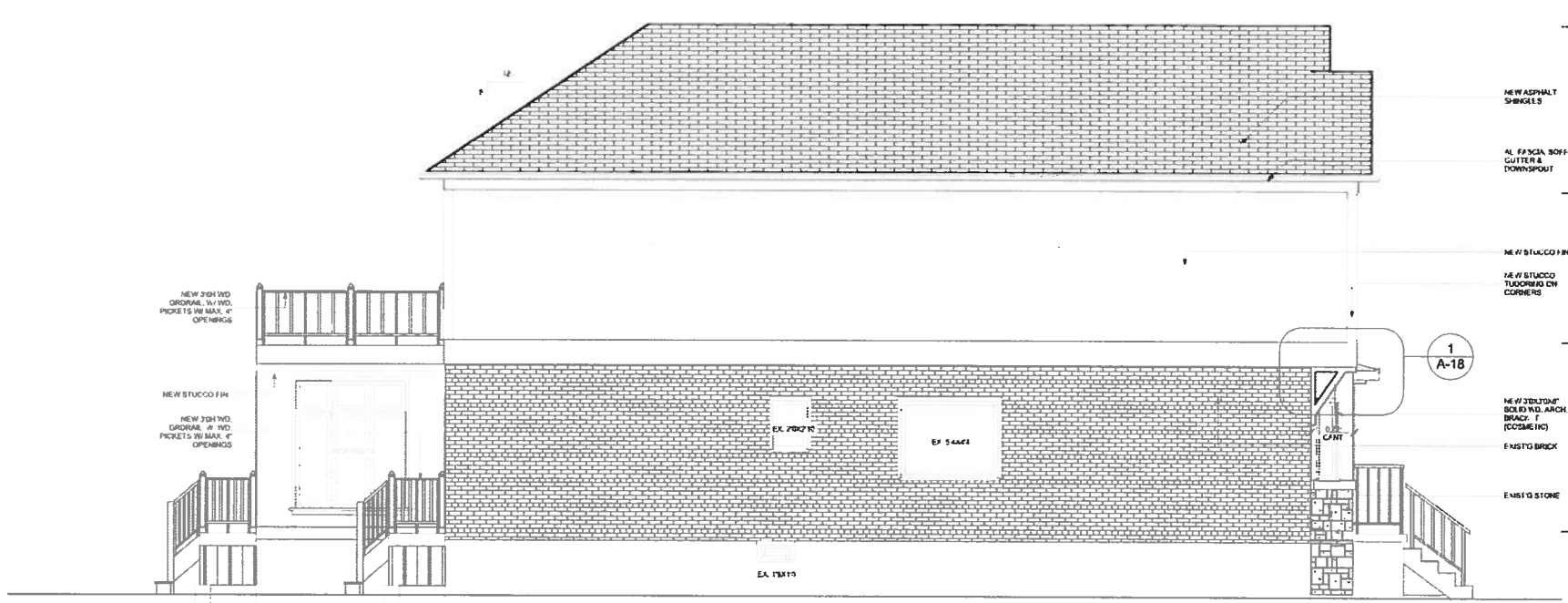
Proposed South Elevation  
**A-13**



**General Notes**  
 All drawings remain the property of the design company  
 Do not scale drawings  
 All dimensions to be checked and verified on site prior to commencing any work. Inform Designer of any discrepancies prior to construction. Failure to do so will not relieve the contractor from extra cost resulting from additional work.

Sheet Index

ID	Name
1-0	1-0
1-1	1-1
1-2	1-2
1-3	1-3
1-4	1-4
1-5	1-5
1-6	1-6
1-7	1-7
1-8	1-8
1-9	1-9
1-10	1-10
1-11	1-11
1-12	1-12
1-13	1-13
1-14	1-14
1-15	1-15
1-16	1-16
1-17	1-17
1-18	1-18



**1 Proposed East Elevation (Metric)**  
 SCALE: 1:50

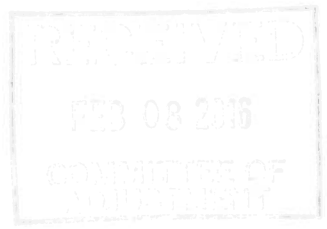
4-15  
 2nd Floor

**Declaration of Designer**  
 I, Rick Rogerson, declare that I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4 of the Building Code. I am qualified and the firm is registered, in the appropriate classes/categories.  
 Individual BCIN: 28488  
 Firm BCIN: 32288

I certify that:  
 1. The information contained in this schedule is true to the best of my knowledge.  
 2. I have authority to bind the corporation or partnership

Signature: *[Signature]*

No.	Description	Date
1		
2		
3		
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8		
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14		
15		
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17		
18		



**Accuvision**

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 Cambridge, ON N3C 2S3  
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 email: rrogers@accuvision.com  
*Innovative yet functional design solutions*

Proposed Second Storey Addition & Interior Renovations to:  
 193 Pendrith St.,  
 Toronto, Ontario M6G 1R9

Client: Mark Freedman & Robyn Blackketter

Drawn By: RHB  
 Scale: As Indicated  
 Printing Date: 02/02/2016  
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**Proposed East Elevation**  
**A-14**



